CERTIFICATE OF APPROPRIATENESS

	CENTIFICATE OF AFFROFRIATEINESS
Applicant:	Sanobar Bhaidani, owner
Property:	815 Harold Street, Lot 4, Block 22, Montrose Neighborhood Subdivision.
	The property includes a historic 3,834 square foot, two-story wood frame
	single-family residence and a detached garage situated on a 6,000 square
	foot (50' x 120') interior lot.
Significance:	Contributing Craftsman style residence, constructed circa 1920, located in
0	the Audubon Place Historic District.
Proposal:	Alteration: Reconstruction of Rear Addition, Front Door, and Windows
•	• Tagged for work w/out permits: 11/16/22; 11/30/22; 12/05/22;1/17/23;
	2/7/23
	Rear Addition
	Two-story rear addition matching roof pitch with composition shingles
	Rear addition walls will not extend beyond existing structure's walls
	Smooth, cementitious siding
	Windows and Front Door
	 Replace second front door on right-side of front elevation with siding
	 Second door most likely added at a later date and not original
	 Right elevation shift window #15 upward
	 Create new window openings #s12-13 and 19-18
	Remove windows (#s 13-14 and 17 & 18) and replace with siding
	 All windows proposed will be 1-over-1, double-hung, inset &
	recessed wood windows
	Left elevation create new window openings in conditioned space above
	the port cochere #s 25-28
	 #s 25-28 proposed to be vinyl, 1-over-1, double-hung, inset &
	recessed
	• Left elevation, put back window openings on second floor #s 29-30 and
	create new window openings, #s 22-23 and #s31-32
	#s 22-23 and #s 31-32 proposed to be 1-over-1, double-hung, inset
	& recessed wood windows
	Information Subject To Change Before Final Report
Public Comment:	No public comment received.
Civic Association:	No comment received.
commendation: Denia	I - does not satisfy criteria Denial. Issuance of COR allowing for the removal

Recommendation: Denial - does not satisfy criteria Denial. Issuance of COR allowing for the removal of the second front door and replacing with 117 lap siding; Existing siding on original structure to remain; any removal or replacement of original siding to be approved by staff; all new siding on the addition to be smooth, cementitious siding; all proposed windows will be inset & recessed as well as trimmed to match the original windows on the first floor front porch.

HAHC Action: -

•

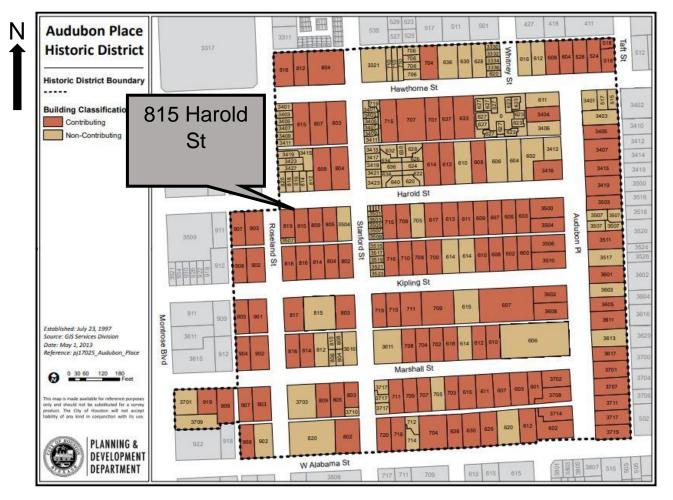
APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies D - does not satisfy NA - not applicable							
\boxtimes			(1)	The proposed activity must retain and preserve the historical character of the property;							
\boxtimes			(2)	The proposed activity must contribute to the continued availability of the property for a contemporary use;							
			(3)	e proposed activity must recognize the building, structure, object or site as a product of its own ne and avoid alterations that seek to create an earlier or later appearance;							
\bowtie			(4)	The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;							
\boxtimes			(5)	The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;							
			(6)	New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;							
			(7)	The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; Removing the second front door will return the structure to its original form with one front entry centered on the front elevation.							
\boxtimes			(8)	Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;							
			(9)	The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;							
			(10)	The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and							
			(11)	The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.							

District Map



INVENTORY PHOTO



Google Satellite Image – 2/17/2023



CURRENT PHOTO – Provided by Applicant

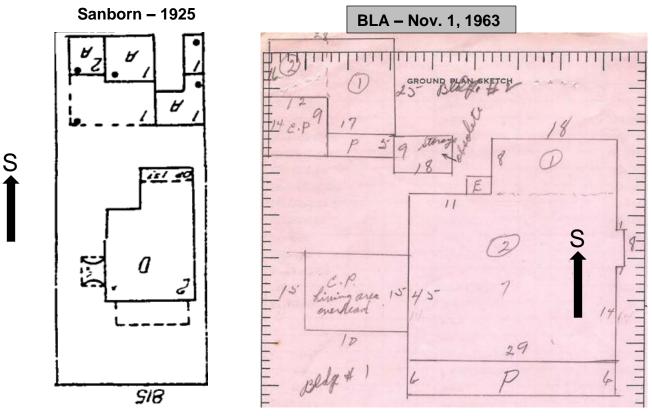


CURRENT PHOTO – Provided by Applicant





CURRENT PHOTO – Provided by Applicant



BLA Photo - Nov. 1, 1963





Red Tag Photos By Inspector – 11/16/2022





Red Tag Photos By Inspector – 11/16/2022



Red Tag Photos By Inspector – 11/16/2022



ddresse 815 Hmeold # 22114296 SPERSECTION II & LOF THE CITY OF HOUSTON RULE DI ODE IT SHALL BE UNLAWFUL FOR ANY PERSON, TRM ORPORATION TO ERECT CONSTRUCT, ATTER, FXTE PARE MOVE, REMOVE, DEMOLISH OR OCCUPY / JILDING, STRUCTURE OR EQUIPATION REGULATION HS CODE, OR CAUSE SAME TO BE DONE. IN CONFI

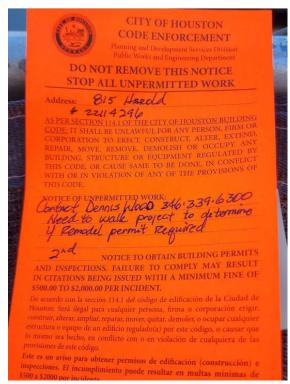
Obtain pequired permits, Betain pequired permits,

NOTICE TO OBTAIN BUILDING PERMITS AND INSPECTIONS. FAILURE TO COMPLY MAY RESULT IN CITATIONS BEING ISSUED WITH A MINIMUM FINE OF \$500.00 TO \$2,000.00 PER INCIDENT. De auerde con la sección 114.1 del código de ediricación de la Ciudad de Houstor. Sera ilegal para cualquier persona, firma o corporación erigir, construin, alterna ampliar, reparar, mover, quitar, demoiter, o ocupar cualquier estructura o equipo de un edificio regulado/03 por este código, o causar que lo miamo sea hecho, en conflicto con o en violación de cualquiera de las versiones de des código.

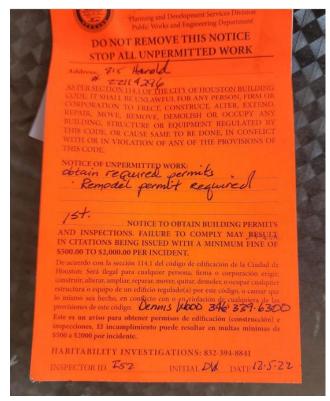
portinuites de estrevoltato. Este es un aviso para obtener permisos de edificación (construcción) e inspecciones. El incumplimiento puede reputar en muitas minimas de 5500 a \$2000 por incidente. Dennis WOOD 346-339-638 HABITABILITY INVESTIGATIONS: 832-394-8841 NSPECTOR ID 152

INITIAL DW DATE 11.16.22





Red Tag Photos By Inspector – 11/30/2022







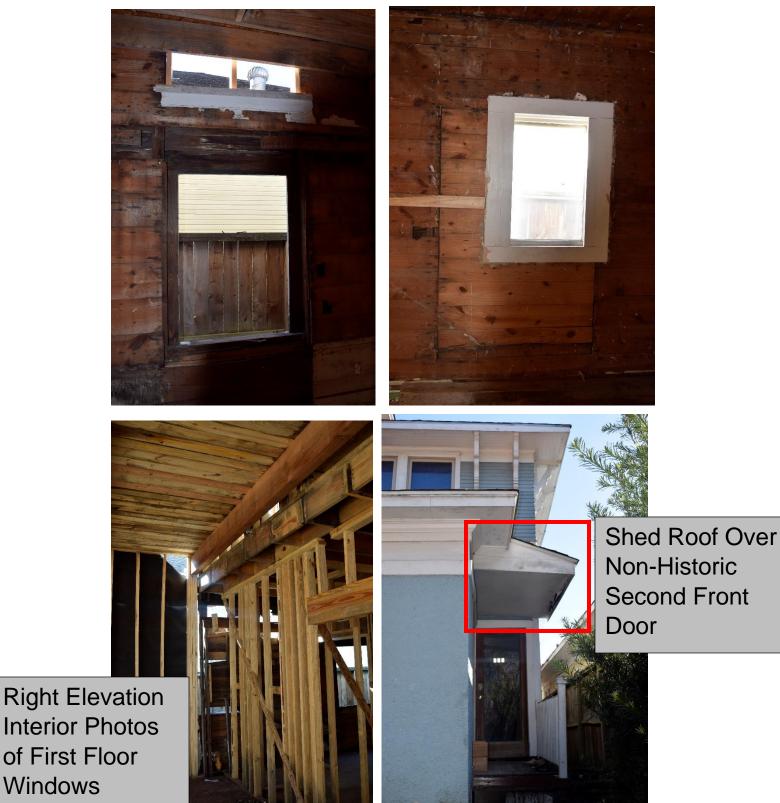


ITEM D08 815 Harold St Audubon Place

Photos By Staff - 2/16 & 2/17/2023



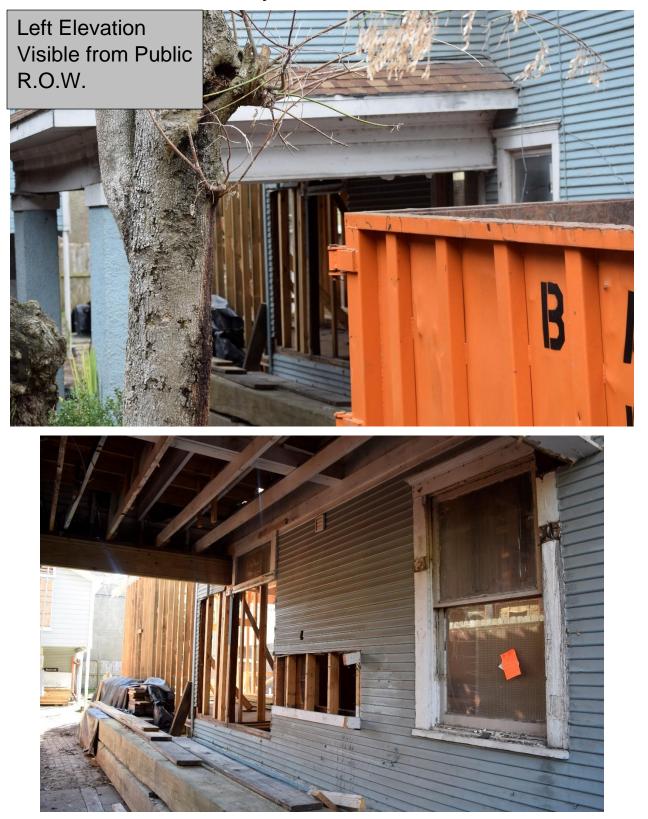




Windows



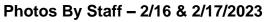
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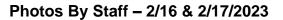


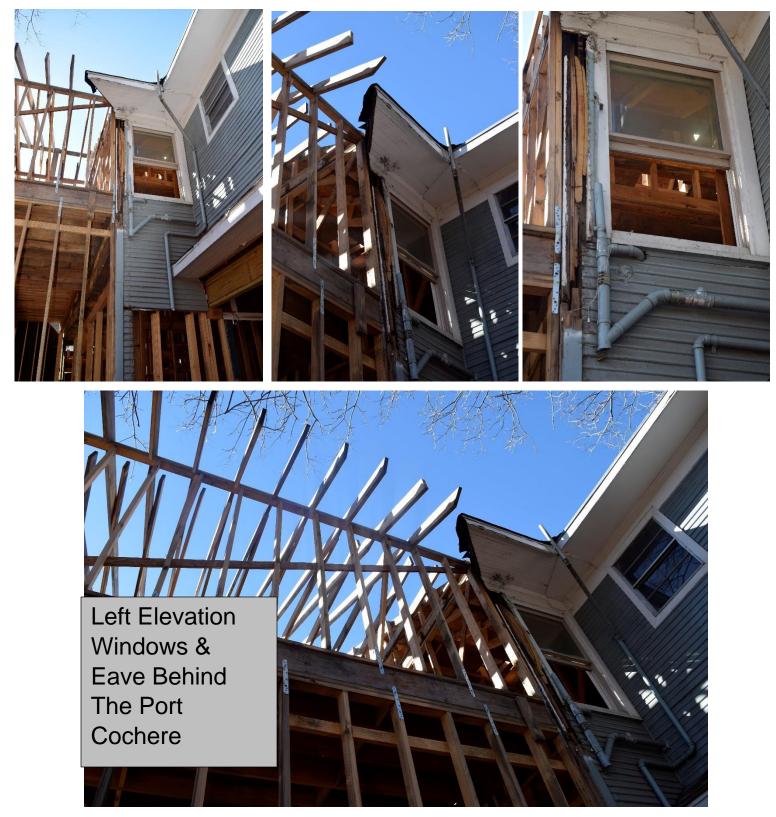


Left Elevation Windows Near Front of Port Cochere



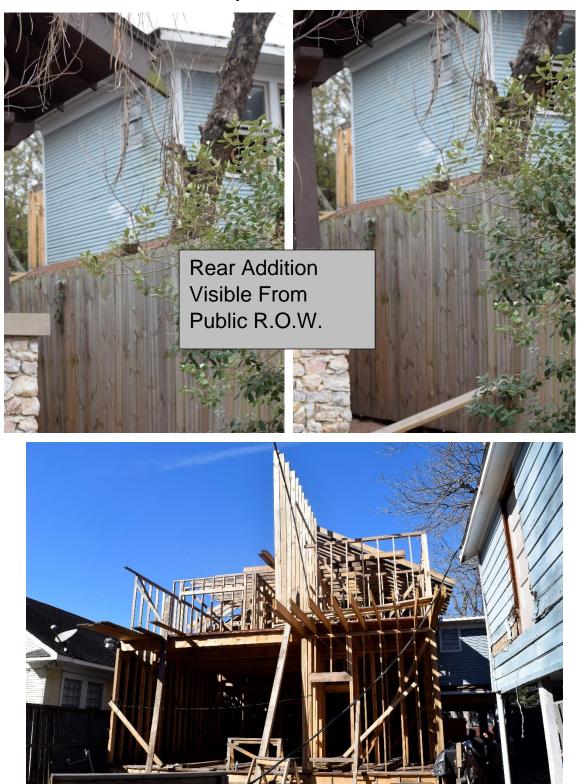


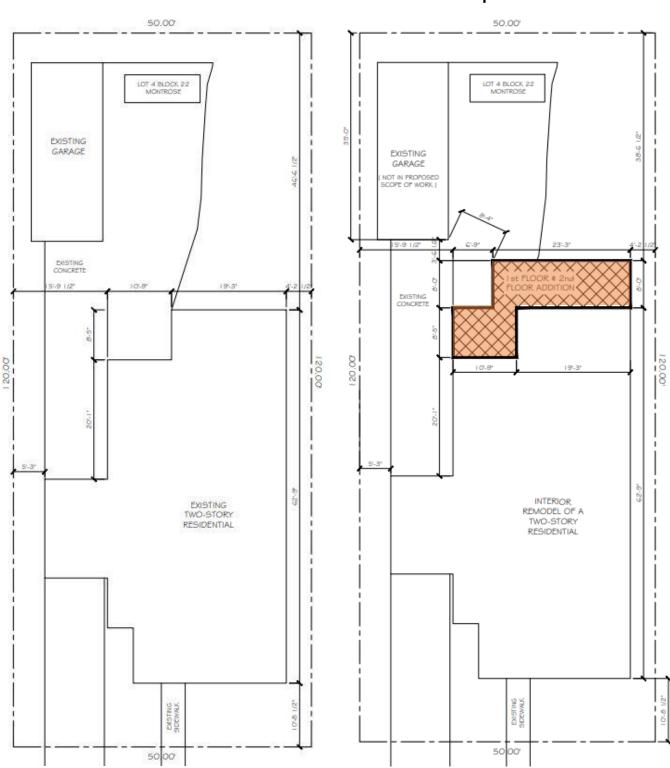






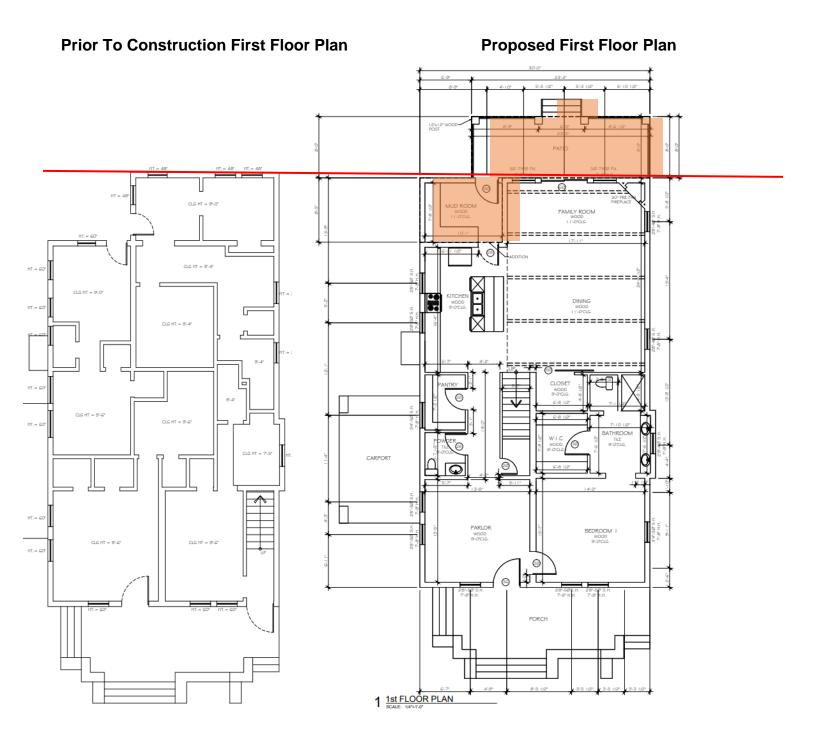






Prior To Construction Site Plan

Proposed Site Plan



Proposed Second Floor Plan 78" FX. 281-78" FX, 281-78 GXC" TREATER CLG HT = 9"-0 ۲ 0 CLG HT = 9°-0 CLG MASTER 0 ATHROC CLG HT = 9"-0" CLG HT = 9"-0" 26"-5Ø S.H FLEX SPACE w000 0 0 CLG HT = 9"-0" CLG HT = 9"-0" FLEX SPACE DROOM 2

Prior To Construction Second Floor Plan

Existing Front (North) Elevation



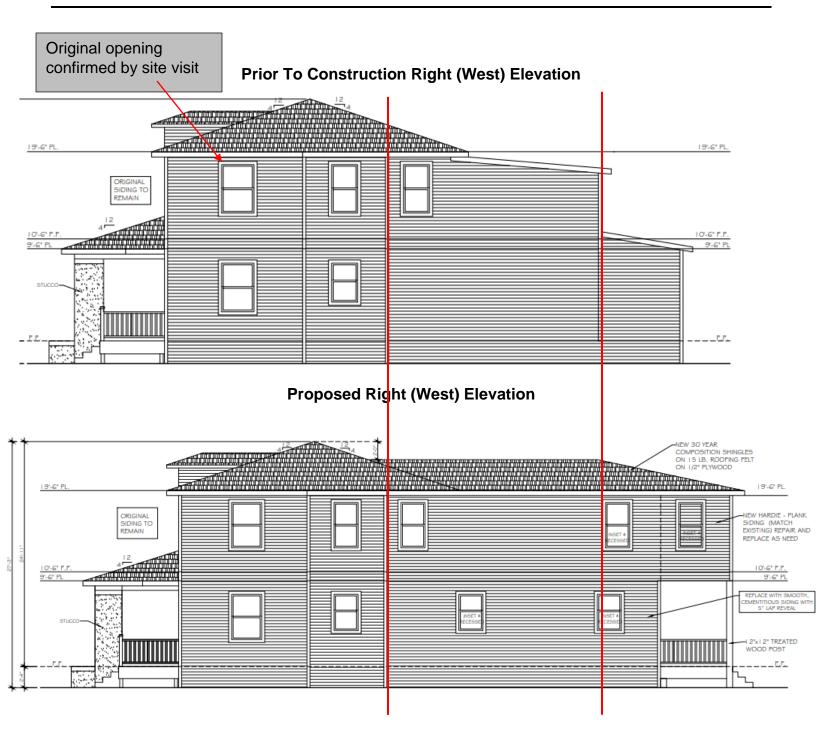
Proposed Front Elevation (Rear Addition Not Visible)

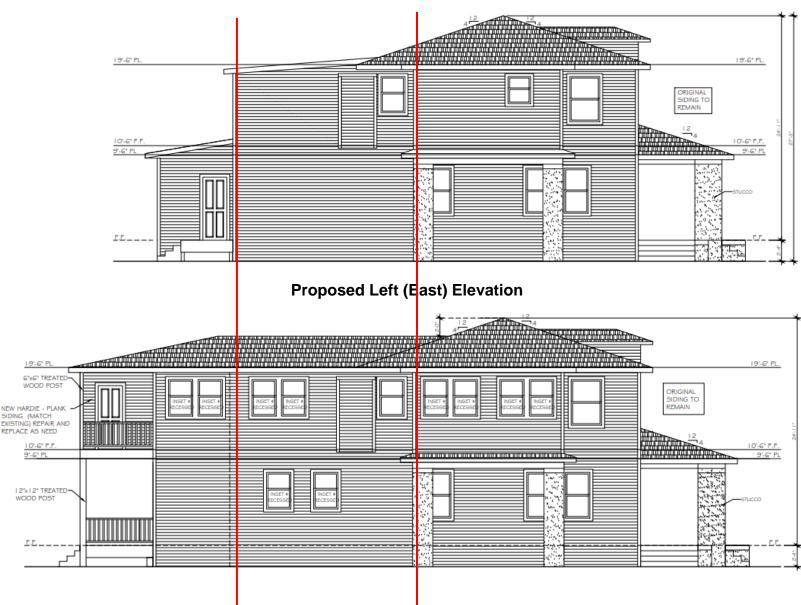






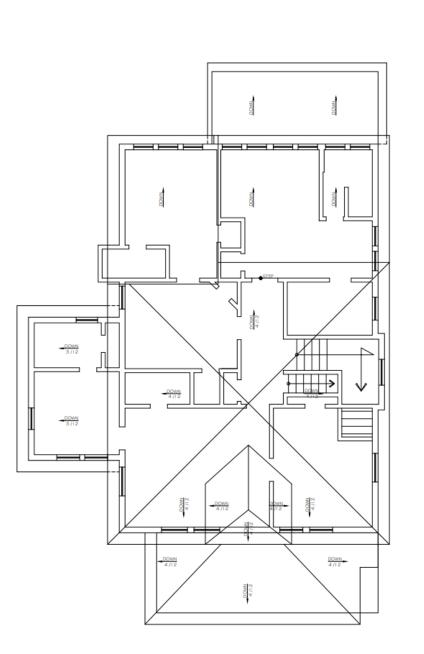
January 22, 2023 HPO File No. 2023_0016



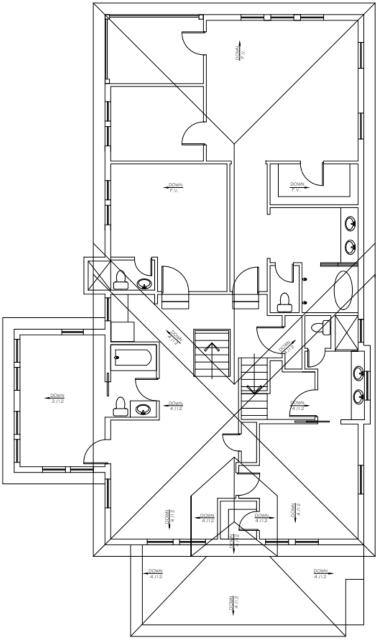


Prior To Construction Left (East) Elevation

Prior To Construction Roof Plan



Proposed Roof Plan



1 EXISTING ROOF PLAN

2 PROPOSED ROOF PLAN

Residential Repair Spec Sheet – 10-12-2021



RESIDENTIAL REPAIR SPEC LIST

This form is to be completed by the applicant to obtain permits for work that does not require a plan review provided the materials match or are equivalent to the materials being repaired or replaced. The materials and method of construction must comply with the Code and are subject to field inspection for final approval. The issuance of a permit does not grant permission to violate the requirements of the code or authorize construction on, or use of, any property in violation of deed restrictions.

Definition of Repair: The reconstruction or renewal of any part of an existing building for the purpose of its maintenance.

Complete the following information (Please Print):

Applicant: Ifran Bhaidani	Date: 10/12/2021		
Project Address: 815 Harold St			
Cost of Improvements: \$ 3800	Project Number: 21102196		
Check all that apply:			
1. Patch or repair exterior veneer, siding, stucco, EIFS, etc.	12. Repair Electrical (Separate Permit Required) •		
2. Replace exterior doors and doors leading to an	13. Repair Plumbing (Separate Permit Required) *		
attached garage	14. Repair Mechanical (Separate Permit Required) *		
3. Replace windows*	15. Replace patio decking (Note: Although code		
] 4. Replace rafters	compliance is always required; a permit is NOT required if deck surface is less than 30 inches		
] 5. Replace roof covering	above grade and there is no roof structure over the deck).		
6. Replace damaged studs	16. Replace flooring substrate (Note: A permit is NOT		
] 7. Install smoke detectors	required for floor finish materials- carpet, tile, wood flooring, etc.)		
8. Replace existing stairs and/or steps	X 17. Other repair work; provide description below:		
S. Replace ceiling and/or wall covering/insulation*	Removing Sheet rock to identify structural beams and have architect build plans to submit.		
10. Repair existing fireplace	to city for remodel permit. I was told 4 x 4 holes at each structural point, in every wall, would		
11. Repair porch	require permit but if this permit allows, I will		
Applicant Signature: AMadaw			
 All trade permits, if required, shall be purchased under the repair 	ir spec list project number.		

* ENERGY CODE:

The following minimum requirements shall be maintained for energy efficiency compliance in Climate Zone 2:

Insulation and	Fenestration U-factor	Glazed Fenestration. SHGC	Ceiling R-Value	Wall R-Value	Floor R-value	R-values are minimums. U- SHGC are maximums.	factors and R13
Windows	0.40	0.25	38	13	13	Indicate insulation type:	N15
rm No: CE-10	59 rev 08/01/201	9 (832)	394-8820		Building C	ode Enforcement	Page 1 of

3/22/2023

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