

CERTIFICATE OF APPROPRIATENESS

Applicant: Sanobar Bhaidani, owner
Property: 815 Harold Street, Lot 4, Block 22, Montrose Neighborhood Subdivision. The property includes a historic 3,834 square foot, two-story wood frame single-family residence and a detached garage situated on a 6,000 square foot (50' x 120') interior lot.

Significance: Contributing Craftsman style residence, constructed circa 1920, located in the Audubon Place Historic District.

Proposal: Alteration: Reconstruction of Rear Addition, Front Door, and Windows

- Tagged for work w/out permits: 11/16/22; 11/30/22; 12/05/22;1/17/23; 2/7/23

Rear Addition

- Two-story rear addition matching roof pitch with composition shingles
- Rear addition walls will not extend beyond existing structure’s walls
- Smooth, cementitious siding

Windows and Front Door

- Replace second front door on right-side of front elevation with siding
 - Second door most likely added at a later date and not original
- Right elevation shift window #15 upward
 - Create new window openings #s12-13 and 19-18
 - Remove windows (#s 13-14 and 17 & 18) and replace with siding
 - All windows proposed will be 1-over-1, double-hung, inset & recessed wood windows
- Left elevation create new window openings in conditioned space above the port cochere #s 25-28
 - #s 25-28 proposed to be vinyl, 1-over-1, double-hung, inset & recessed
- Left elevation, put back window openings on second floor #s 29-30 and create new window openings, #s 22-23 and #s31-32
 - #s 22-23 and #s 31-32 proposed to be 1-over-1, double-hung, inset & recessed wood windows

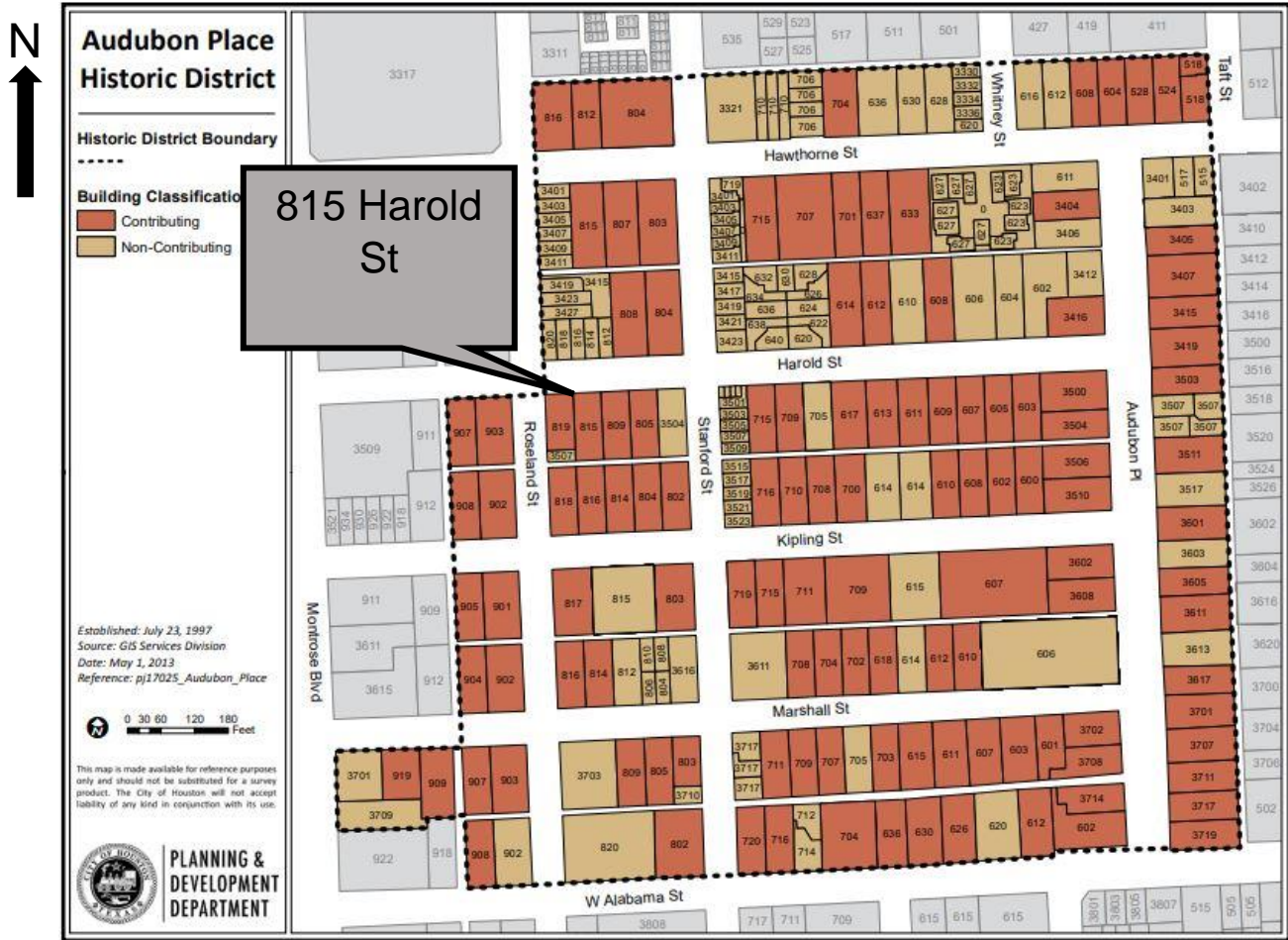
Information Subject To Change Before Final Report

- **Public Comment:** No public comment received.
- **Civic Association:** No comment received.

Recommendation: Denial - does not satisfy criteria **Denial. Issuance of COR allowing for the removal of the second front door and replacing with 117 lap siding; Existing siding on original structure to remain; any removal or replacement of original siding to be approved by staff; all new siding on the addition to be smooth, cementitious siding; all proposed windows will be inset & recessed as well as trimmed to match the original windows on the first floor front porch.**

HAHC Action: -

District Map



INVENTORY PHOTO



Google Satellite Image – 2/17/2023



Applicant demolished two non-historic rear additions

CURRENT PHOTO – Provided by Applicant



CURRENT PHOTO – Provided by Applicant

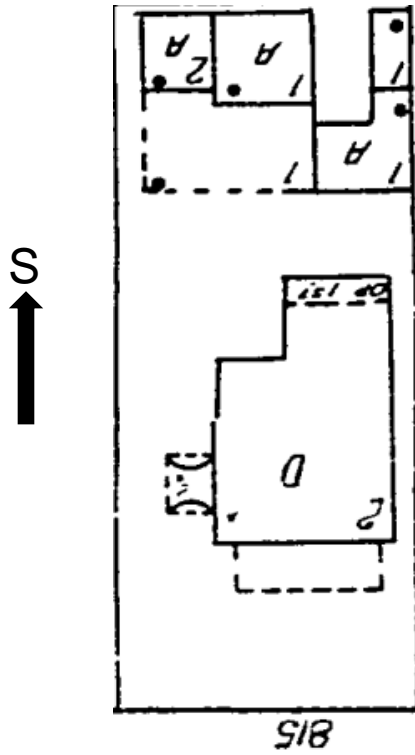


Proposal is to remove door and replace with a window

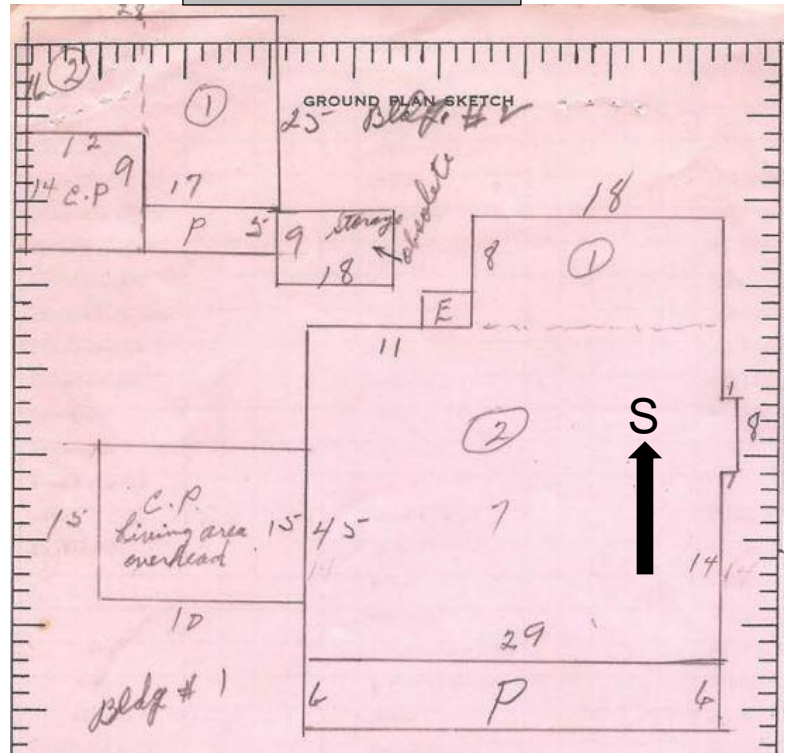
CURRENT PHOTO – Provided by Applicant



Sanborn - 1925



BLA - Nov. 1, 1963



BLA Photo - Nov. 1, 1963



Red Tag Photos By Inspector – 11/16/2022



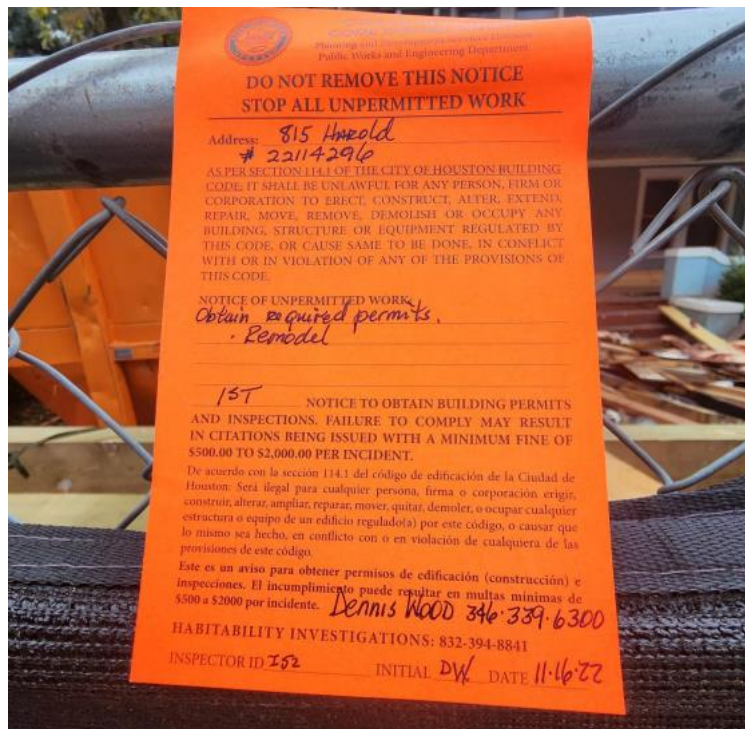
Red Tag Photos By Inspector – 11/16/2022



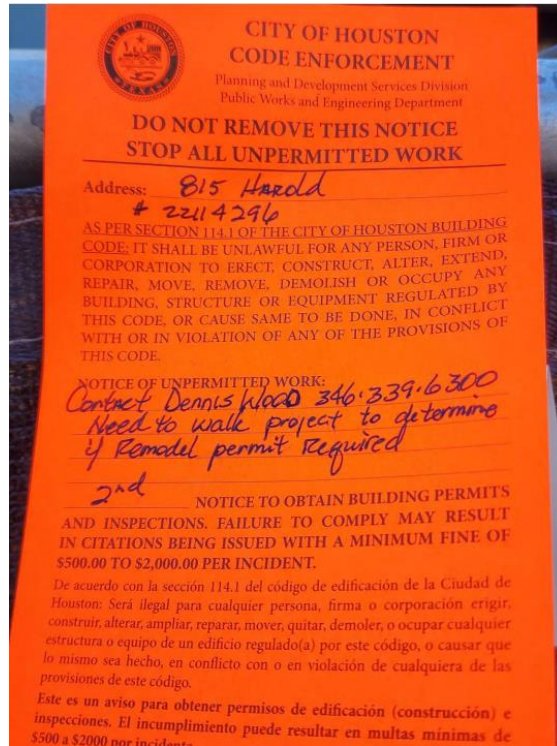
Red Tag Photos By Inspector – 11/16/2022



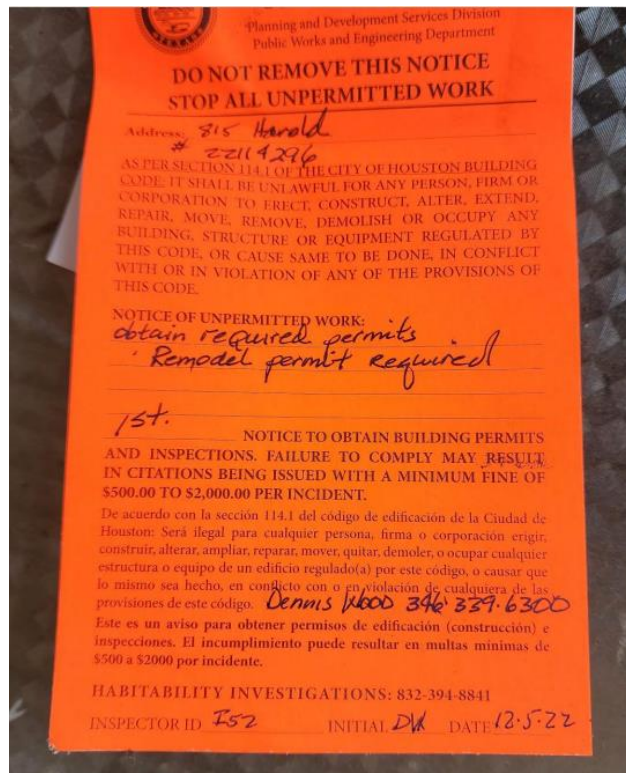
Red Tag Photos By Inspector – 11/16/2022



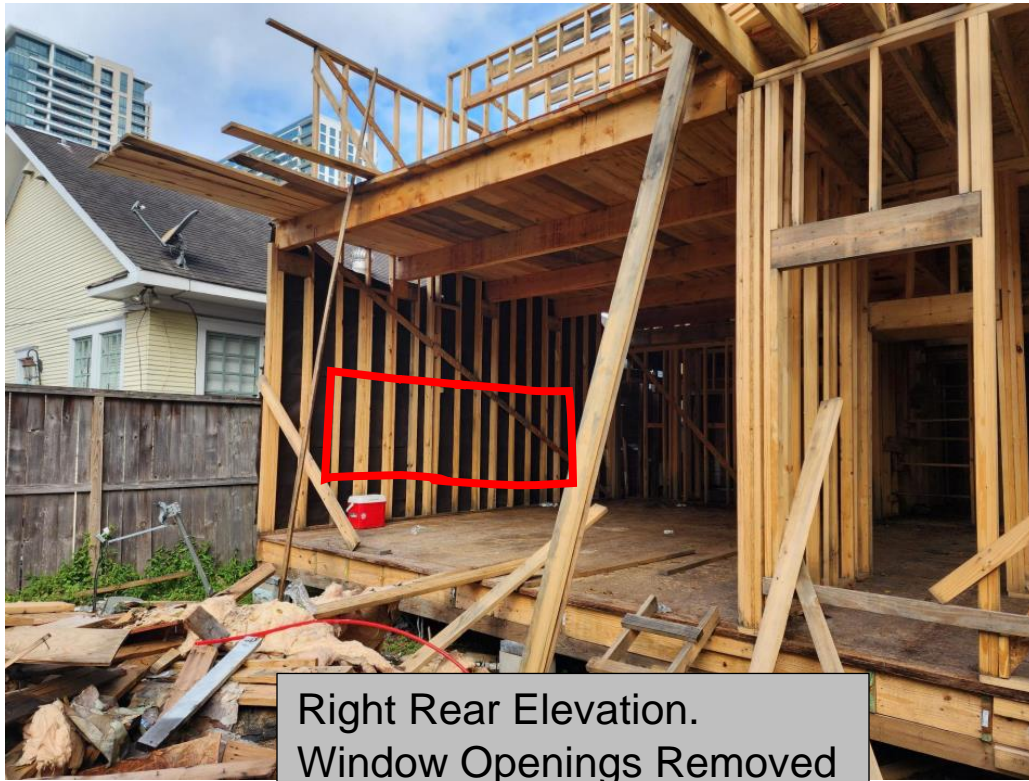
Red Tag Photos By Inspector – 11/30/2022



Red Tag Photos By Inspector – 12/05/2022



Red Tag Photos By Inspector – 12/05/2022



Right Rear Elevation.
Window Openings Removed



Red Tag Photos By Inspector – 12/05/2022



Left Rear Elevation.
Port Cochere in
background. Window
Openings Removed.



Red Tag Photos By Inspector – 12/05/2022



Left Rear Elevation.
Fire Damage on
Shiplap



Front Porch As Seen
From Driveway Side
(Left-Hand Side)

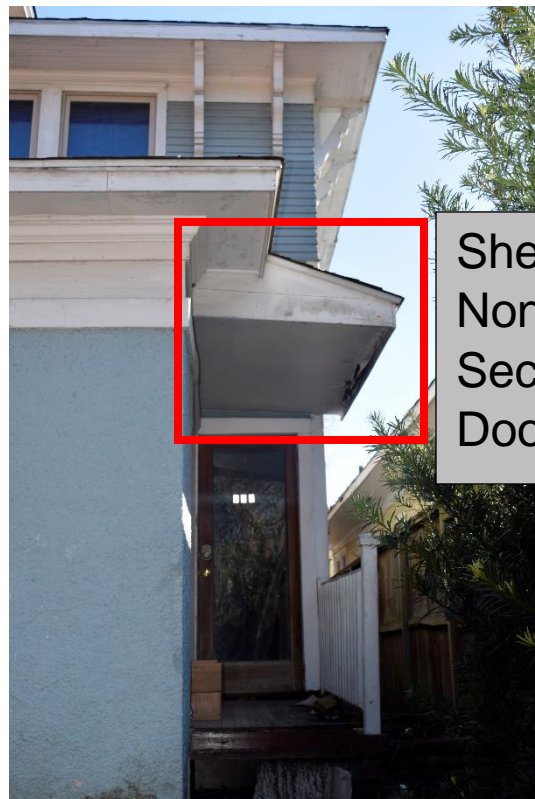
Photos By Staff – 2/16 & 2/17/2023



Photos By Staff – 2/16 & 2/17/2023



Photos By Staff – 2/16 & 2/17/2023

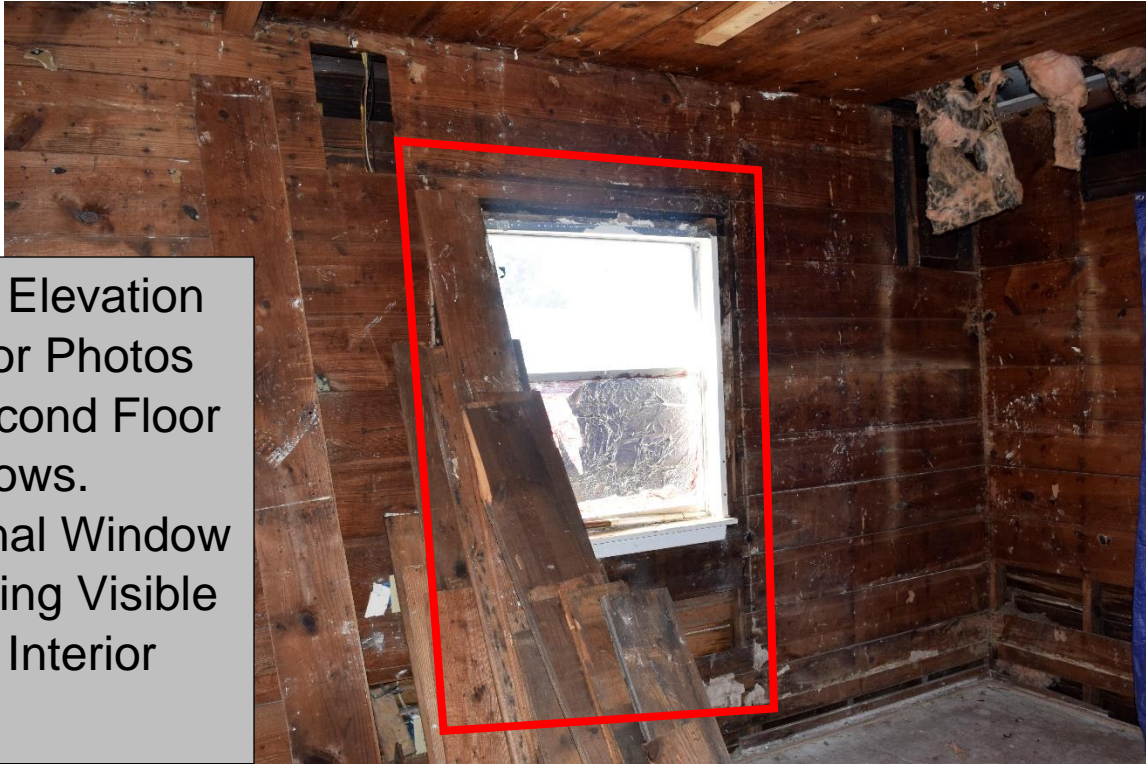


Shed Roof Over
Non-Historic
Second Front
Door

Right Elevation
Interior Photos
of First Floor
Windows

Photos By Staff – 2/16 & 2/17/2023

Right Elevation
Interior Photos
of Second Floor
Windows.
Original Window
Opening Visible
From Interior



Photos By Staff – 2/16 & 2/17/2023

Left Elevation
Visible from Public
R.O.W.



Photos By Staff – 2/16 & 2/17/2023



Left Elevation
Windows Near
Front of Port
Cochere



Photos By Staff – 2/16 & 2/17/2023



Left Elevation
Windows &
Eave Behind
The Port
Cochere

Photos By Staff – 2/16 & 2/17/2023



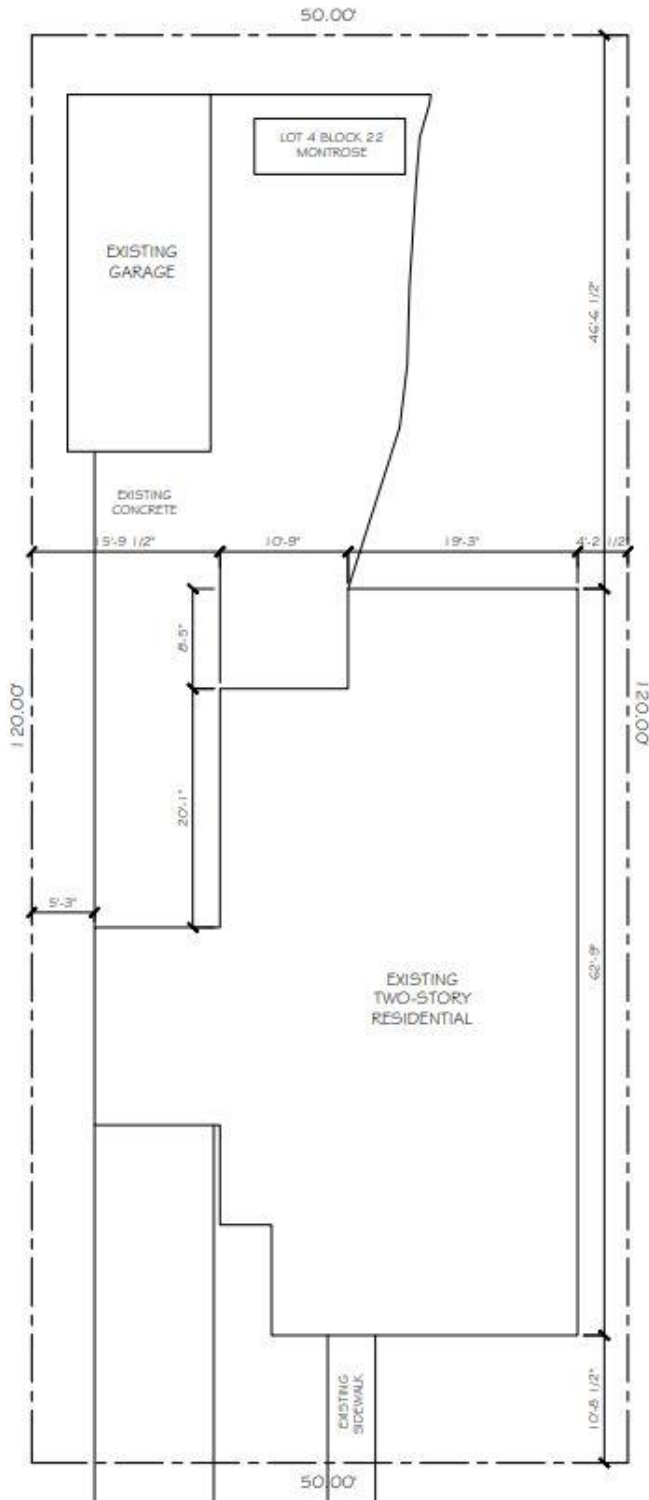
Left Elevation Windows Behind The Port Cochere



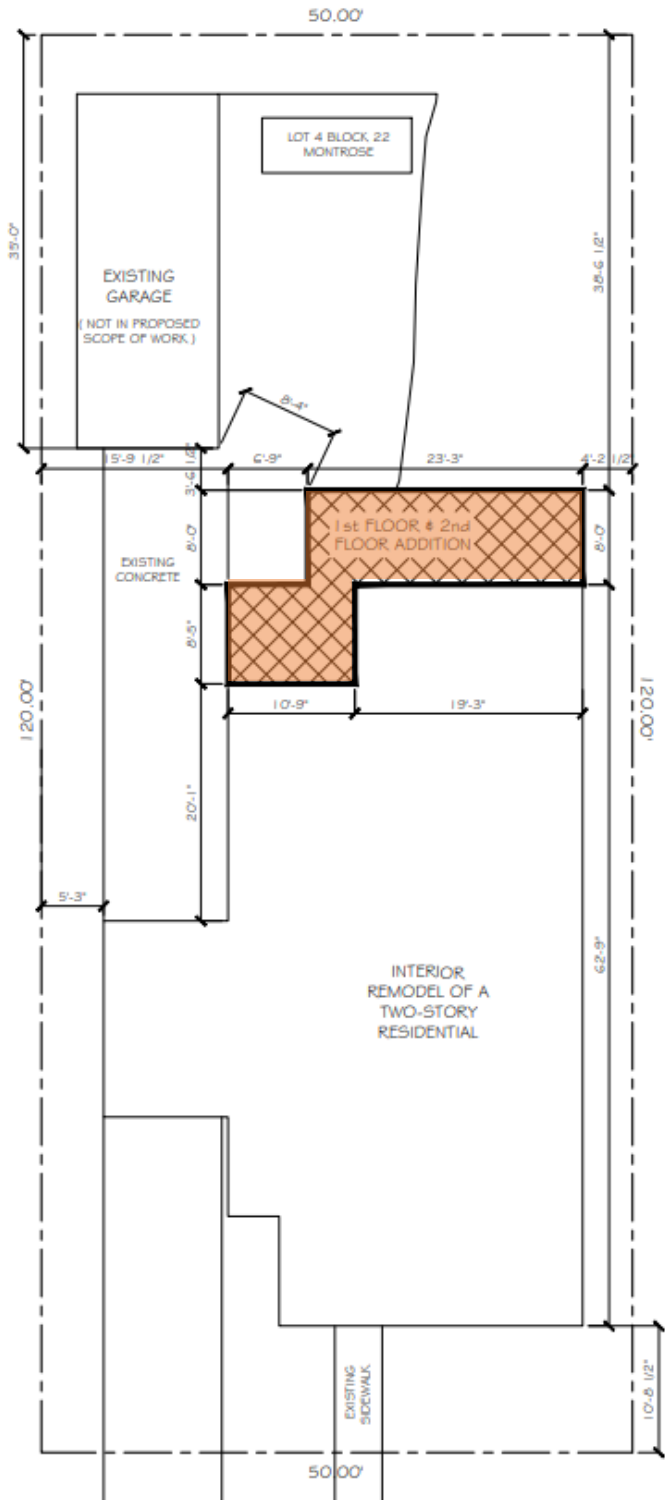
Photos By Staff – 2/16 & 2/17/2023



Prior To Construction Site Plan

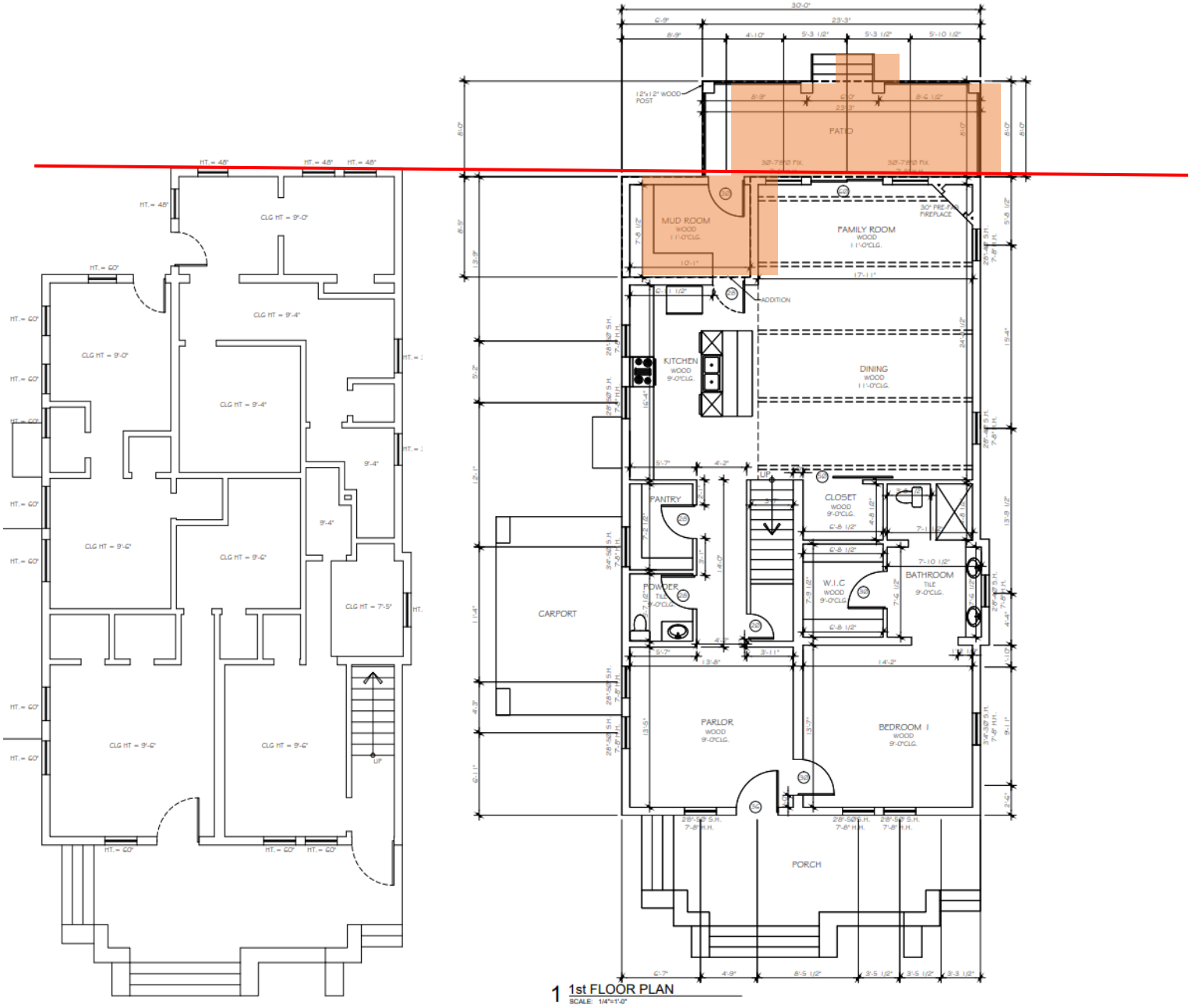


Proposed Site Plan



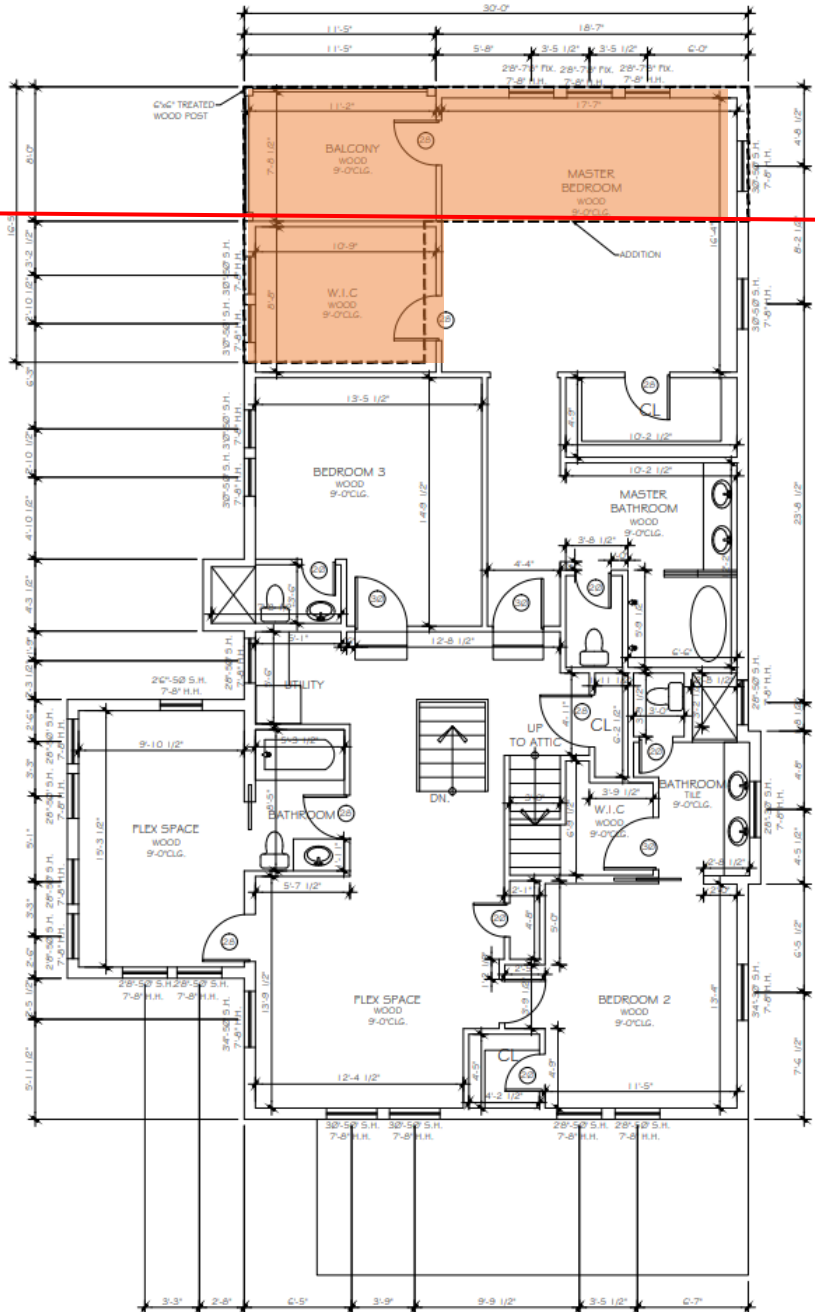
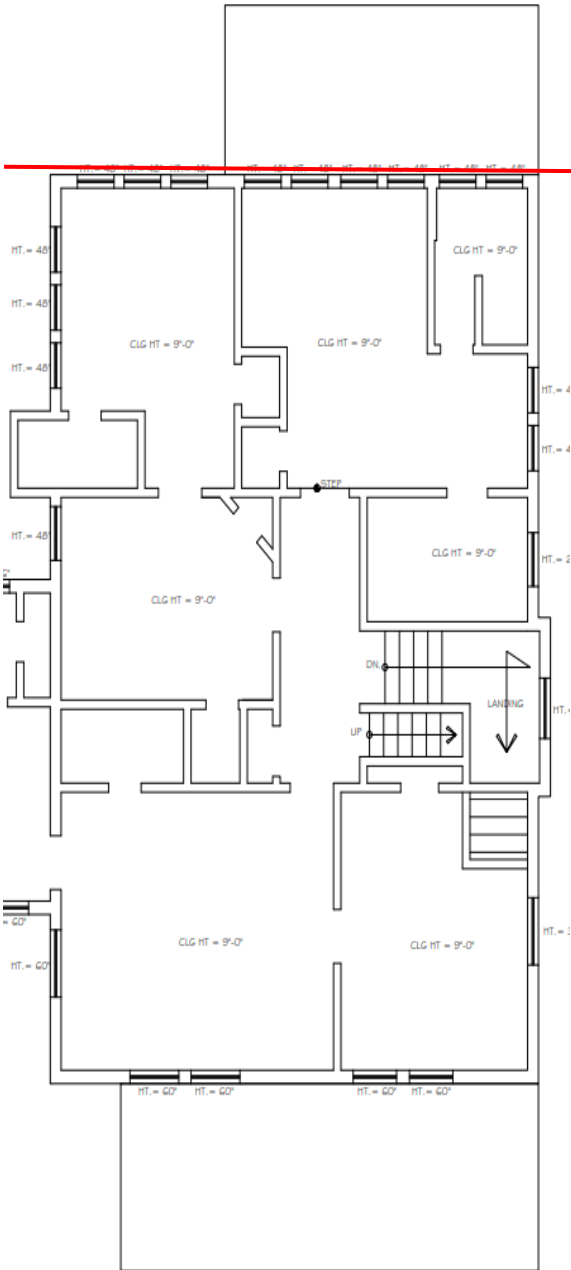
Prior To Construction First Floor Plan

Proposed First Floor Plan



Prior To Construction Second Floor Plan

Proposed Second Floor Plan



Existing Front (North) Elevation



Proposed Front Elevation (Rear Addition Not Visible)



Prior To Construction Rear (South) Elevation

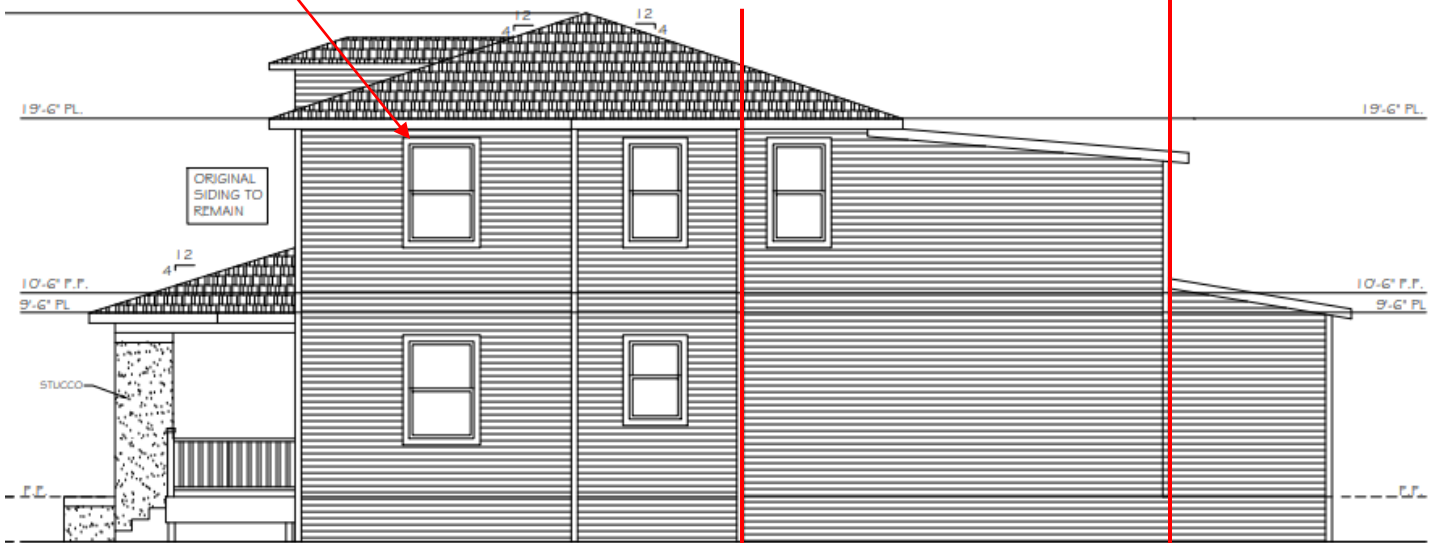


Proposed Rear (South) Elevation

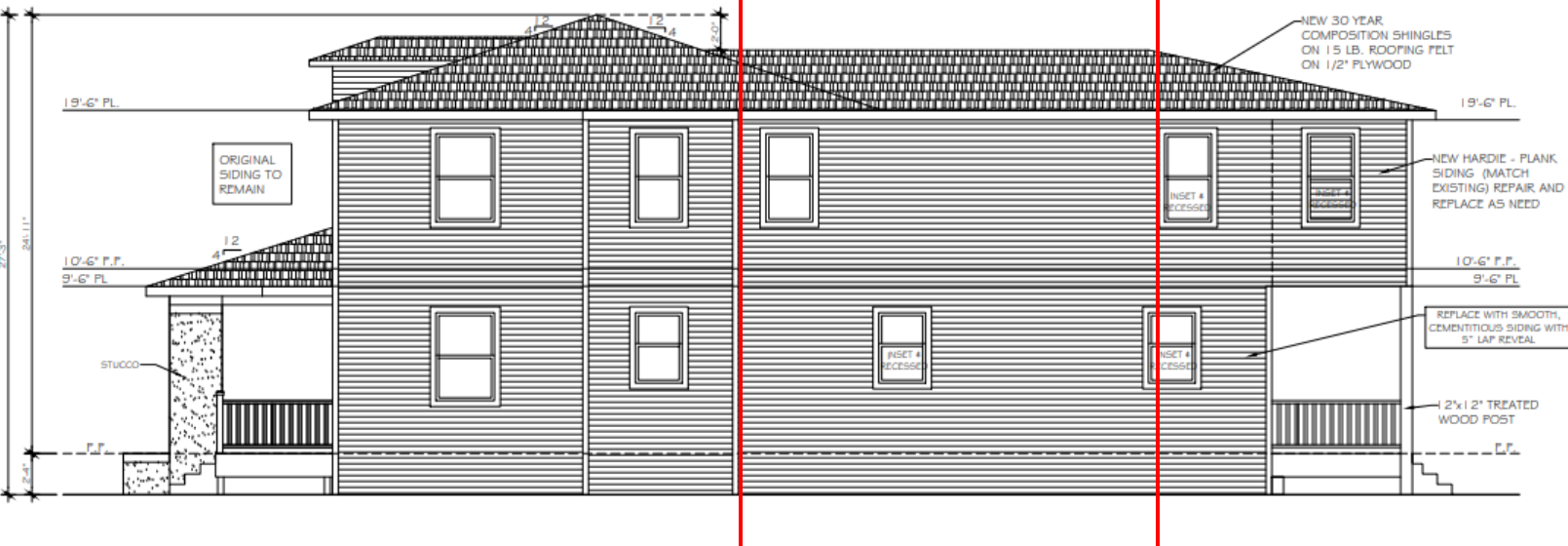


Original opening confirmed by site visit

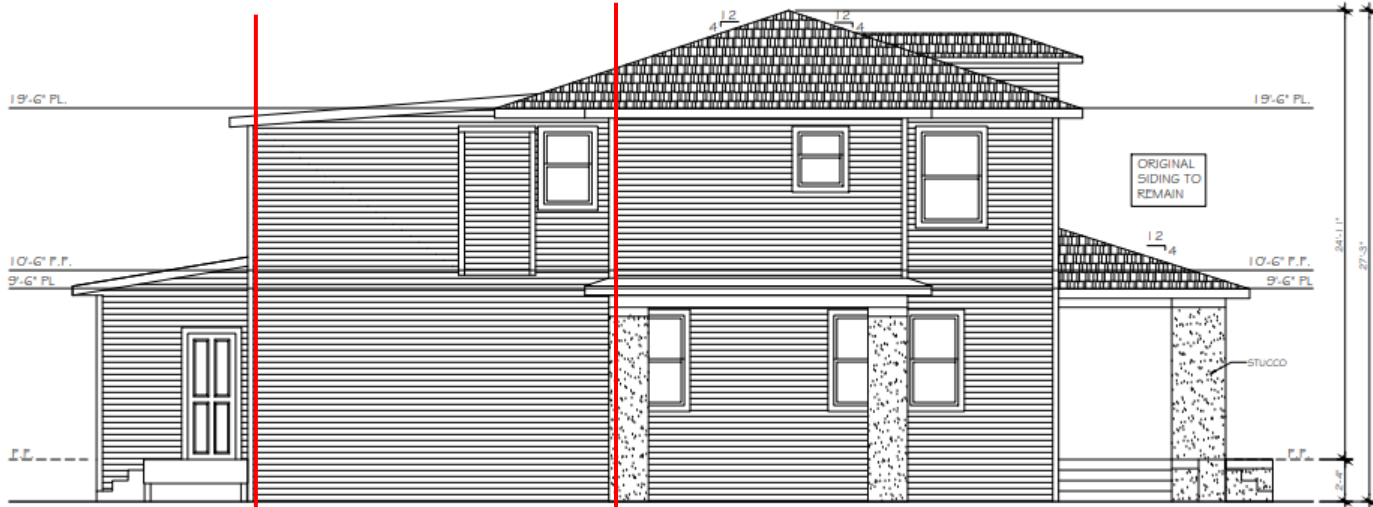
Prior To Construction Right (West) Elevation



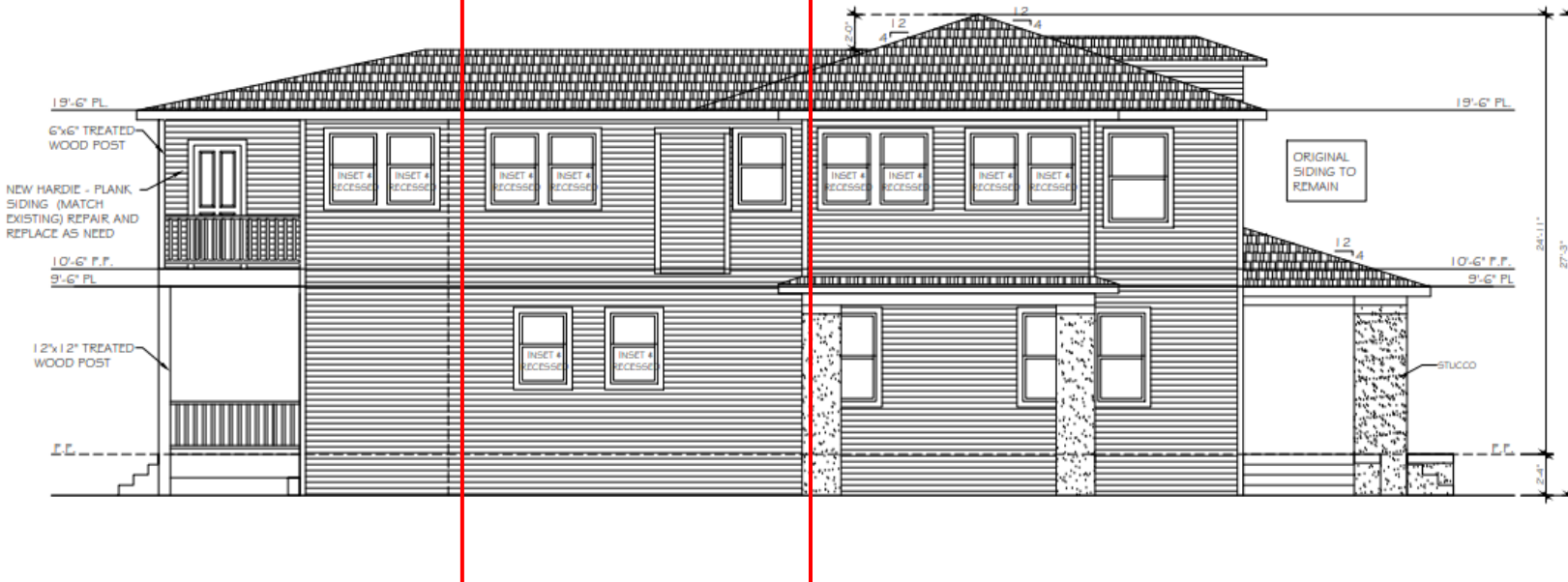
Proposed Right (West) Elevation



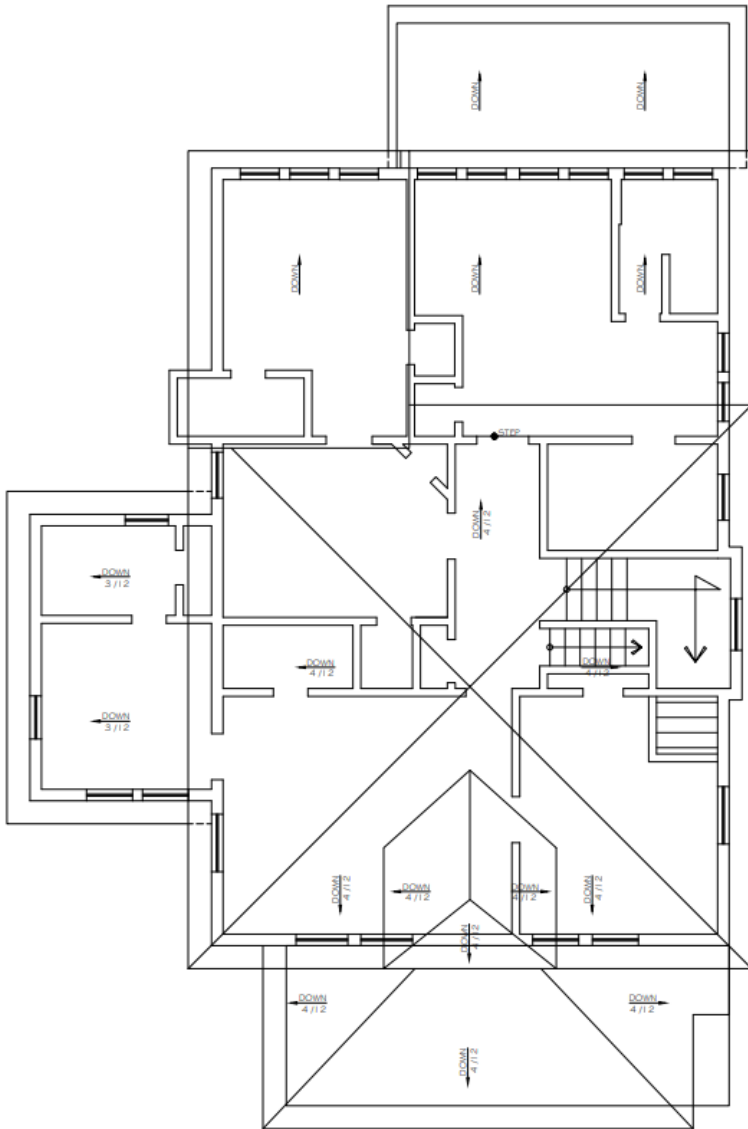
Prior To Construction Left (East) Elevation



Proposed Left (East) Elevation

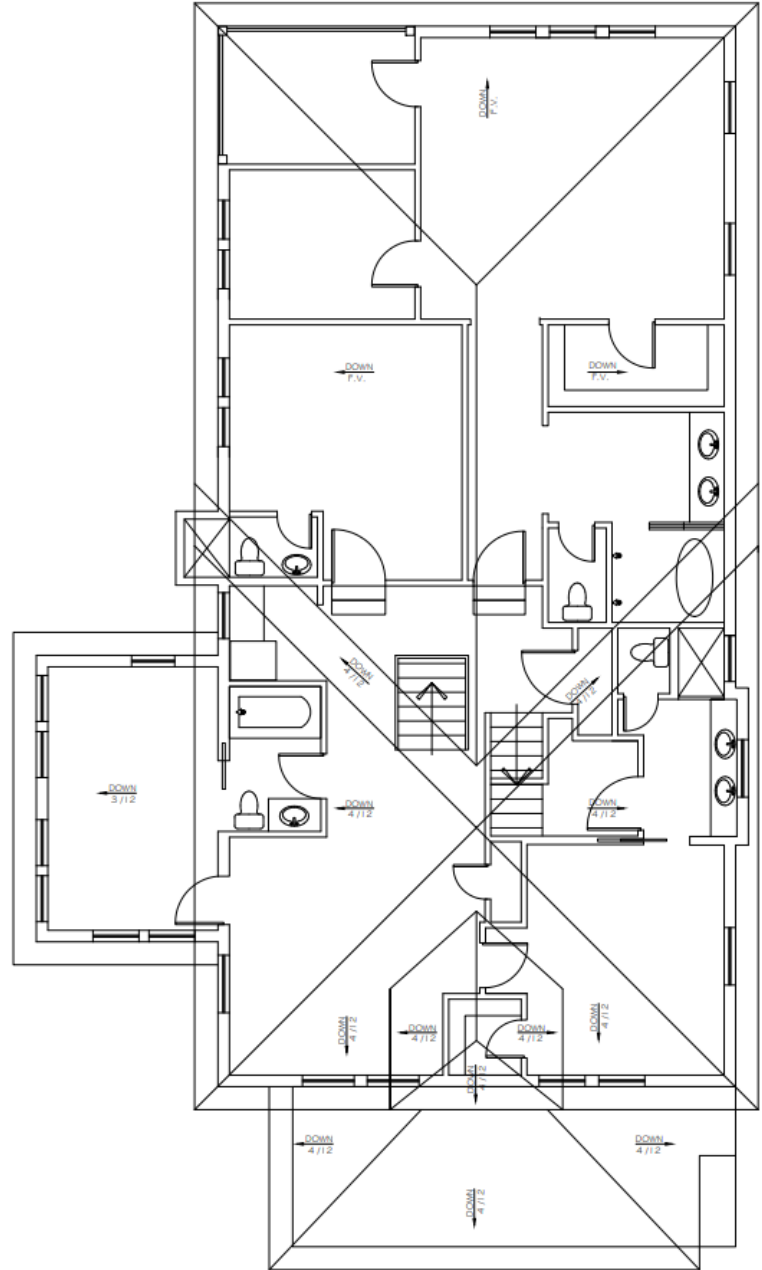


Prior To Construction Roof Plan



1 EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"

Proposed Roof Plan



2 PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"

Residential Repair Spec Sheet – 10-12-2021



RESIDENTIAL REPAIR SPEC LIST

This form is to be completed by the applicant to obtain permits for work that does not require a plan review provided the materials match or are equivalent to the materials being repaired or replaced.

Definition of Repair: The reconstruction or renewal of any part of an existing building for the purpose of its maintenance.

Complete the following information (Please Print):

Applicant: Ifran Bhaidani Date: 10/12/2021

Project Address: 815 Harold St

Cost of Improvements: \$ 3800 Project Number: 21102196

Check all that apply:

- 1. Patch or repair exterior veneer, siding, stucco, EIFS, etc.
2. Replace exterior doors and doors leading to an attached garage
3. Replace windows*
4. Replace rafters
5. Replace roof covering
6. Replace damaged studs
7. Install smoke detectors
8. Replace existing stairs and/or steps
9. Replace ceiling and/or wall covering/insulation*
10. Repair existing fireplace
11. Repair porch
12. Repair Electrical (Separate Permit Required)*
13. Repair Plumbing (Separate Permit Required)*
14. Repair Mechanical (Separate Permit Required)*
15. Replace patio decking (Note: Although code compliance is always required; a permit is NOT required if deck surface is less than 30 inches above grade and there is no roof structure over the deck).
16. Replace flooring substrate (Note: A permit is NOT required for floor finish materials- carpet, tile, wood flooring, etc.)
17. Other repair work; provide description below: Removing Sheet rock to identify structural beams and have architect build plans to submit to city for remodel permit. I was told 4 x 4 holes at each structural point, in every wall, would require permit but if this permit allows, I will removal all sheetrock in home.

Applicant Signature: [Signature]

* All trade permits, if required, shall be purchased under the repair spec list project number.

* ENERGY CODE:

The following minimum requirements shall be maintained for energy efficiency compliance in Climate Zone 2:

Table with 7 columns: Insulation and Windows, Fenestration U-factor, Glazed Fenestration SHGC, Ceiling R-Value, Wall R-Value, Floor R-value, R-values are minimums. U-factors and SHGC are maximums. Indicate insulation type: R13

ILMS 103 Comment – 01-07-2022

ILMS - □ ×

Additional Functions Recent Selection Options Activity Log Pending Inspections

Project is: INACTIVE **Flood Zone: X**

Situs Address: **815 HAROLD ST 77006** 100 Search

Project Number: **21102196** Look Up 110 Project History Recent Selections Permit Type:

100 Situs Info 102 Application 114 Plan Review 115/297 Permits 205 Fee Collection

550 Documents

126 Situs Holds 208/599/Other 109 Project Holds 101/103 Comments GIS / Tax Office

101 Situs Comments (Click below to navigate to the related maintenance program)

Comment-...	Comment-...	Comment	D...	Dept-Name ^
01/30/1997	HV	BL REMODELING W/O PERMIT	430	STRUCTUR/
09/09/1997	DW	WORKING W/O PERMIT-CONVERT CARPORT 334	430	STRUCTUR/
01/23/1998	DW	NO WORK AT THIS SITE 307	430	STRUCTUR/
05/19/1999	EM	BL--CONVERTED THE STORAGE ROOM INTO AN APART--	430	STRUCTUR/
07/23/2003	CAR	COMPLAINT: CONVERTED STORAGE BLDG. TO GARAGE	430	STRUCTUR/
01/06/2005	NNR	B/L COMPLAINT: ROOFING & REMODELING W/O PERMITS	430	STRUCTUR/
01/12/2005	EM	#338-BL-STATUS- NO VISIBLE VIOLATIONS	430	STRUCTUR/
02/11/2005	284	284* INV COMPLAINT OF RESIDENCE CONVERTED	400	OCCUPANCY

103 Project Comments (Click below to navigate to the related maintenance program)

Comment-...	Permit	IS-Type	Comment
10/27/2021	13	PRN	RESIDENTIAL REPAIR PER SPEC 2012 IRC 2015 IECC
10/27/2021	13	PRN	PROJECT IS NOT IN THE FLOOD ZONE PER GIMS
10/27/2021	13	PRN	ALL SCOPE OF WORK IS SUBJECT TO A FIELD INSPECTION
10/27/2021	13	PRN	NO ADDITIONAL PERMITS REQUIRED
01/07/2022	GE	PRN	**Historic released hold for interior work only. Any exterior work
01/07/2022	GE	PRN	needs review by us.**

↑ ↑ ↑

Red Tag Notices: 2022 – 23



Additional Functions Recent Selection Options Activity Log Pending Inspections

Project On Hold

Flood Zone: X

Situs Address: 815 HAROLD ST 77006

100 Search

Project Number: 22114296

Look Up

110 Project History

Recent Selections

Permit Type: |

126 Situs Holds

208/599/Other

109 Project Holds

101/103 Comments

GIS / Tax Office

100 Situs Info

102 Application

115/297 Permits

399 Inspections

205 Fee Collection

550 Documents

Note: click document list to review details

ENTRY-SS	Document-No	Document...	Description	File-Reference
0001	01710377	10/12/2021		Residential Repair Spe
0002	02072138	11/16/2022	1ST NOTICE (I52) REMODEL (1)	815 HAROLD ST #2211
0003	02080725	11/30/2022	2ND NOTICE (I52) REMODEL (2)	815 HAROLD ST 32211
0004	02083902	12/05/2022	1ST NOTICE (I52) REMODEL (1)	815 HAROLD ST #2110
0005	02083905	12/05/2022	1ST NOTICE (I52) REMODEL (1)	815 HAROLD ST #2110
0006	02111799	01/12/2023	Proof of Ownership	815 Harold Deed.pdf
0007	02111800	01/12/2023	Agent Authorization Form	authorization form- 81
0008	02111801	01/12/2023	Survey or Site Plan	Harold815Rev1DaRan
0009	02111802	01/12/2023	Property Tax Assessment	HCAD File- 815 Harold.
0010	02112922	01/13/2023	23003856_Geocortex Map	23003856_Geocortex
0011	02112923	01/13/2023	23003856_Calculation Sheet	23003856_Calculation
0012	02112924	01/13/2023	23003856_Deed	23003856_Deed.pdf
0013	02112925	01/13/2023	23003856_Email	23003856_Email.pdf
0014	02112926	01/13/2023	23003856_WCR Expedited Letter	23003856_WCR Exped
0015	02112927	01/13/2023	23003856_Sales Order	23003856_Sales Orde
0016	02113354	01/17/2023	2ND NOTICE (I52) REMODEL (2)	815 HAROLD ST #2211
0017	02132740	02/07/2023	3RD NOTICE (I52) REMODEL (3)	815 HAROLD ST #2211

