

CERTIFICATE OF APPROPRIATENESS

Applicant: Carlton L. Fuqua, agent for Marcus E. Tamez, owner

Property: 2805 Florence, lot 1A, 2B, & 9, block 11, Woodland Heights Subdivision. The property includes a 996 SF one-story single-family residence on a 7,797 square foot (80' x 100') interior lot.

Significance: Contributing 1910 bungalow located in the Woodland Heights Historic District.

Proposal: Alteration – Addition. The applicant is proposing to construct a two-story addition at the rear of the lot. The addition to the main house will be 427 SF and 632 SF for the garage.

- Existing Asbestos Siding shall be abated to expose original siding.
- Existing windows as shown 3050 Double Hung windows shall remain.
- Demo turned Columns and replace with Craftsman Style Columns as shown on Sheet 5.
- All proposed new windows to be inset and recessed.
- The addition will feature a 6:12 gable roof

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval with conditions: that the proposed craftsman style columns match the context area columns and are slimmer.

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

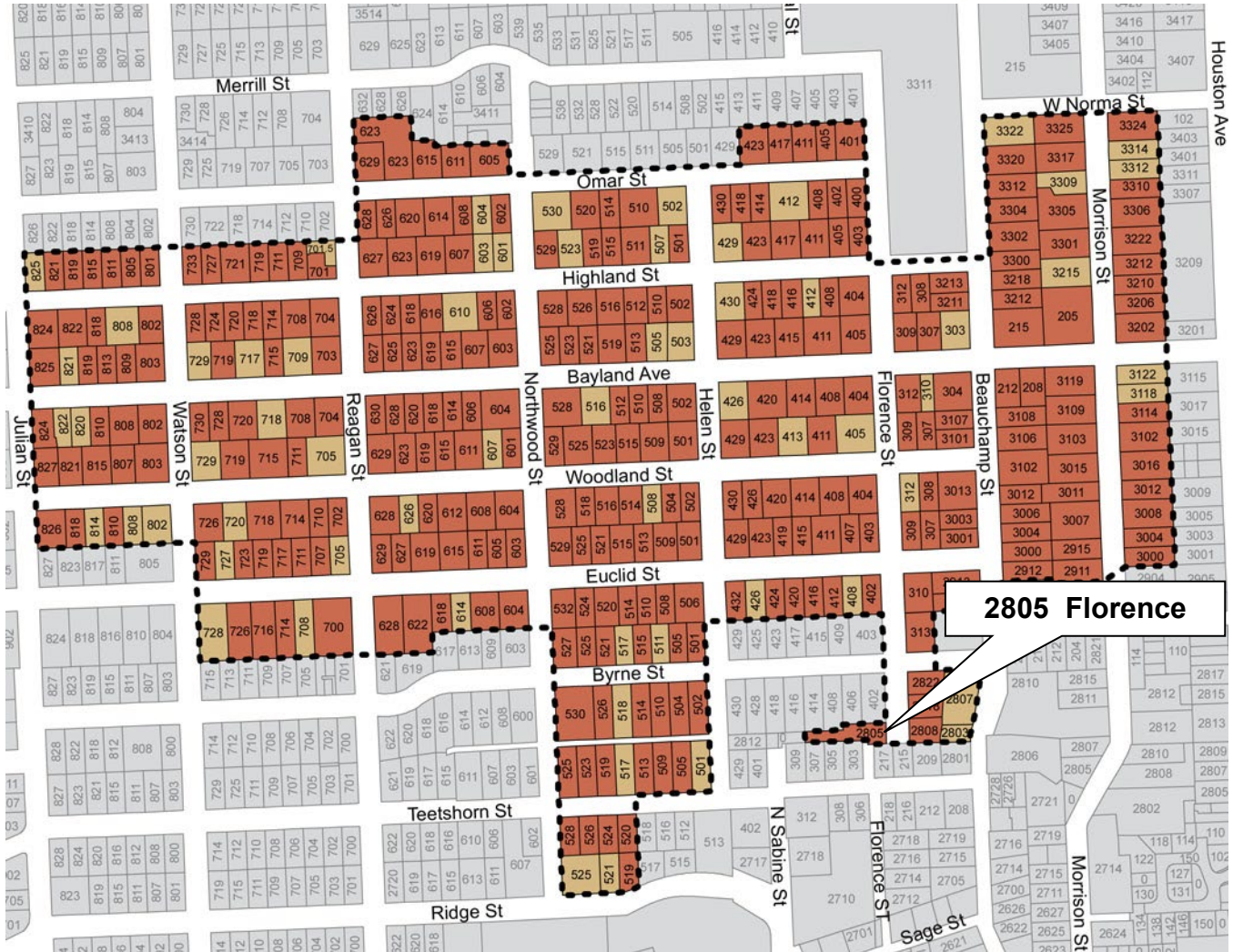
- | S | D | NA | S - satisfies D - does not satisfy NA - not applicable |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |



PROPERTY LOCATION
WOODLAND HEIGHTS HISTORIC DISTRICT

Building Classification

- Contributing
- Non-Contributing
- Park



2805 Florence

CURRENT PHOTO

MAY 2022



CONTEXT AREA EXAMPLES



Existing Neighborhood Home



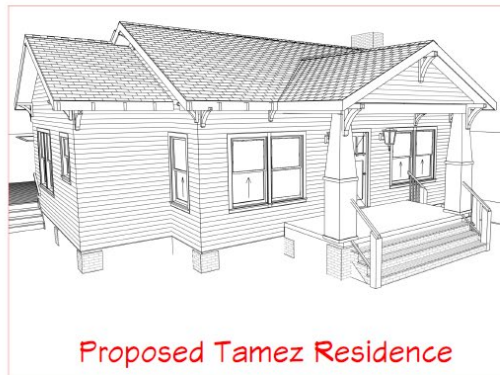
Existing Neighborhood Home



Existing Neighborhood Home



Existing Neighborhood Home



Proposed Tamez Residence

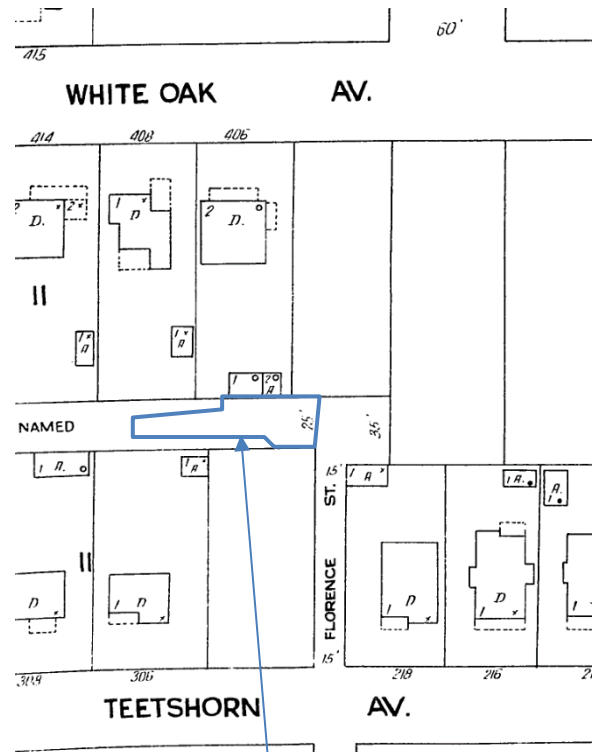
These photos document existing homes in the surrounding neighborhoods that share the same or similar historical design details and construction characteristics as proposed in the Tamez Residence.



Existing Neighborhood Home

Photo Documentation Of Existing Homes

HISTORICAL DOCUMENTATION



The Sanborn doesn't show the lot and the new layout but this is where the lot is supposed to be.

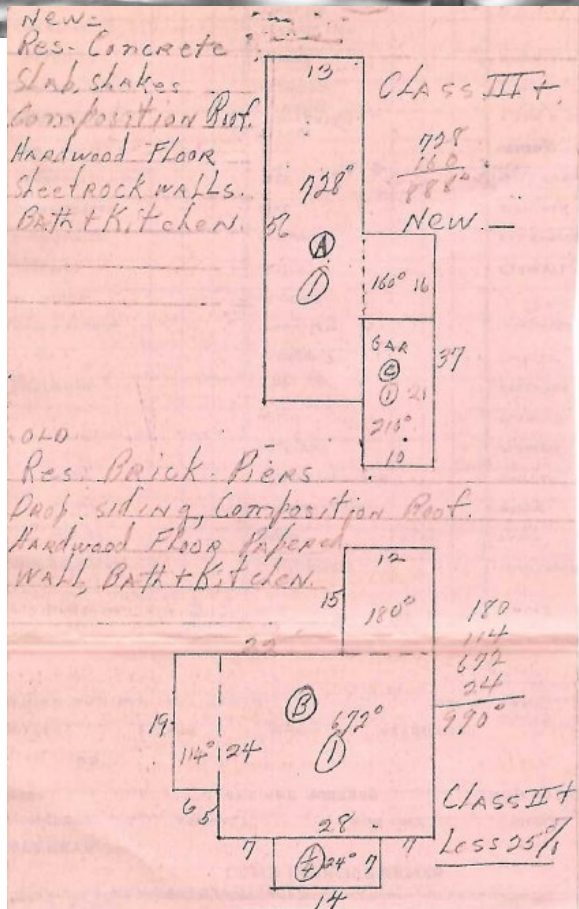


Figure 1- Harris County Tax Records-1965



Notes to Sheet:

1. Existing Asbestos Siding shall be abated to expose original siding.
2. Existing windows as shown 3050 Double Hung windows shall remain.
3. Electrical Service shall be removed and carried underground to interior electric panel box.
4. Electrical Service request shall be made to power company to relocate power pole obstruction from driveway.
5. Corbels shall remain as noted on Sheet 5
6. Delete Turned Columns replace with Craftsman Style Columns as shown on Sheet 5.
7. Add new brick stair.
8. Add false window mullions on all top windows to create a 3 over 1 profile.

EXISTING PHOTOS



Front Porch Details



Front view



Front Right View



Front Left View



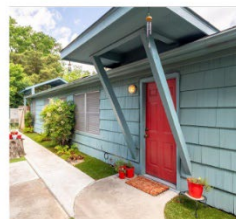
Back Right View



Add-on Structure Back View 2805.5



Add-on Structure Side View 2805.5

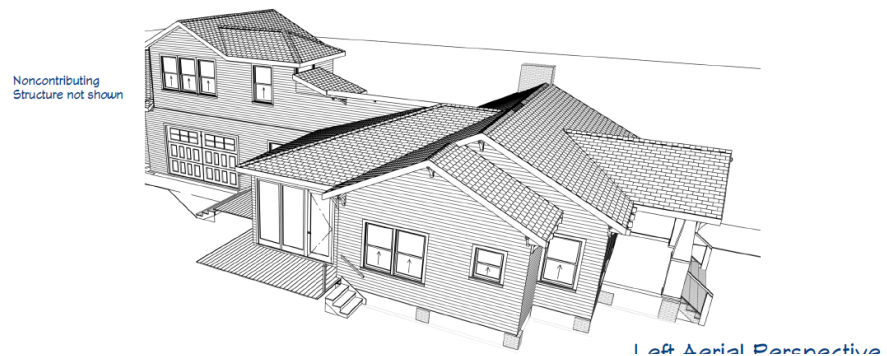
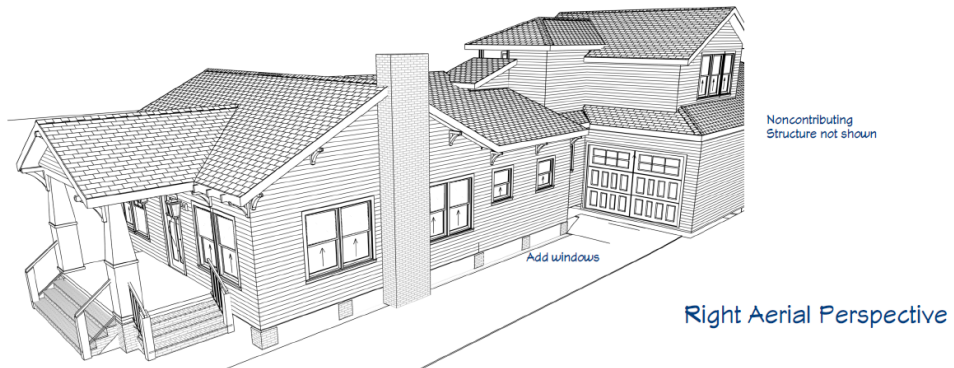
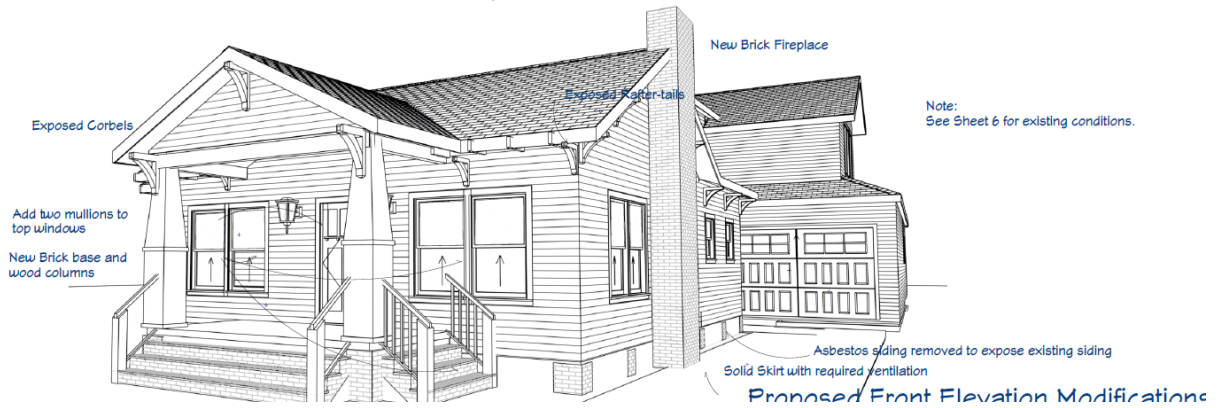
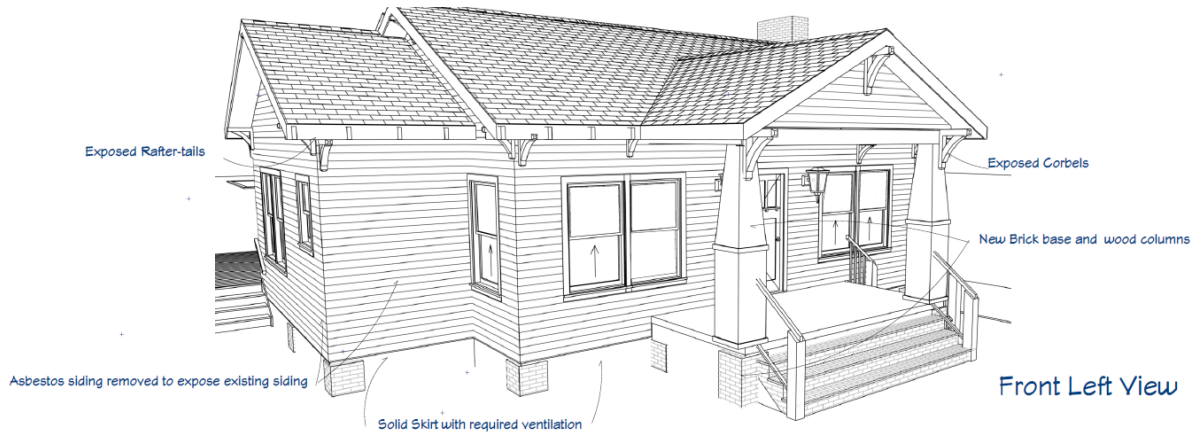


Add-on Structure Side View 2805.5

Photo Document:

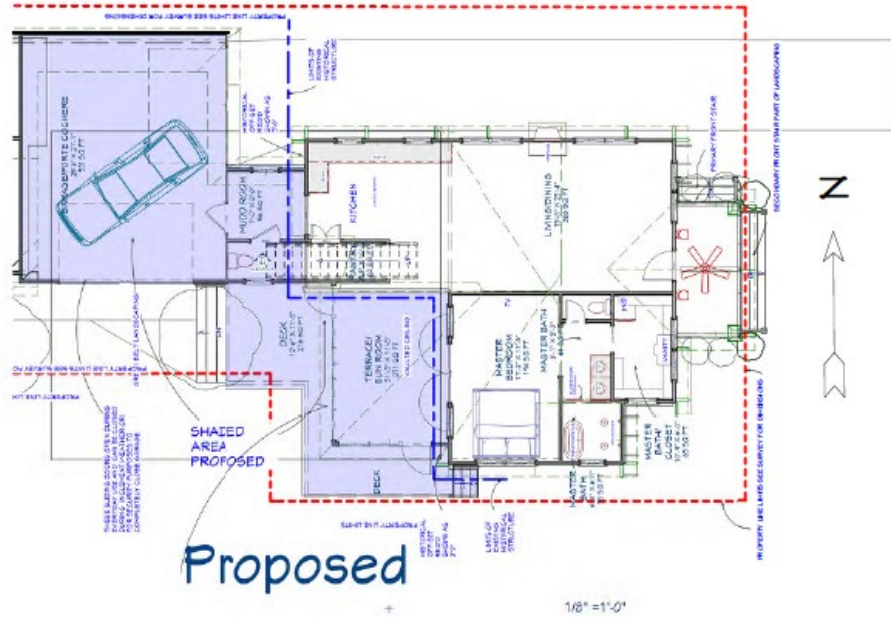
These drawings are for Historical Commission Approval Only and Not For Construction

3D RENDERINGS



FIRST PLAN MAIN HOUSE ONLY

Noncontributing
Structure not shown

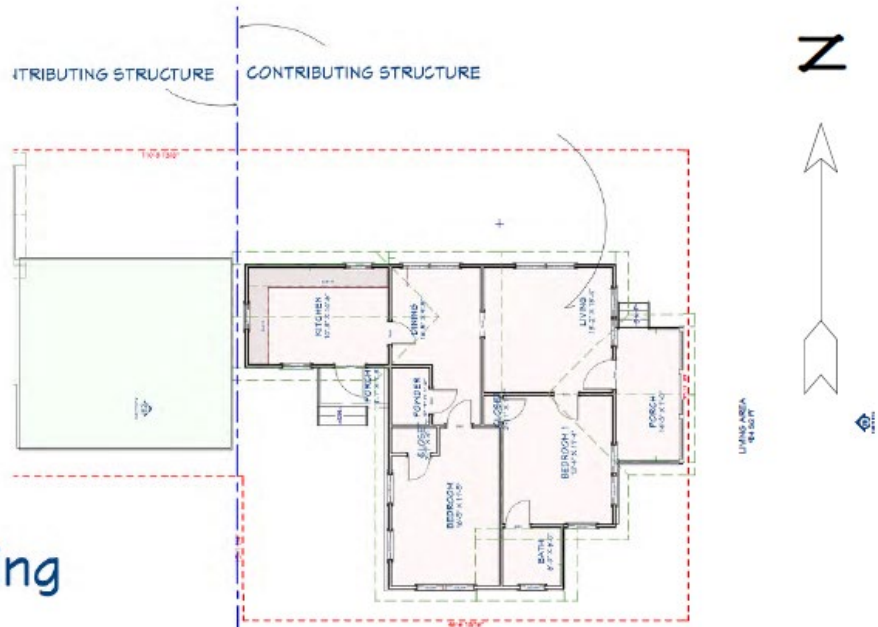


Proposed

1/8" = 1'-0"

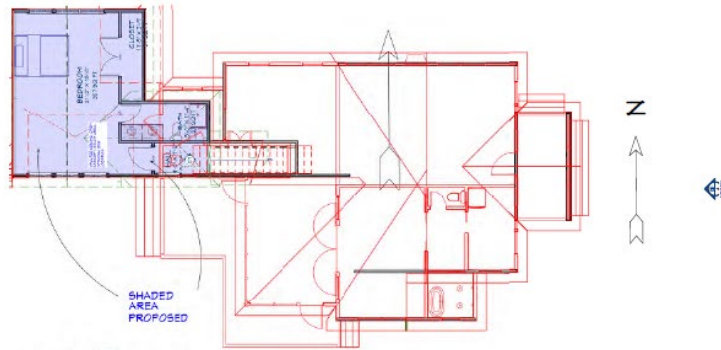
Noncontributing
Structure not shown

Existing



**SECOND FLOOR PLAN
MAIN HOUSE ONLY**

Noncontributing
Structure not shown



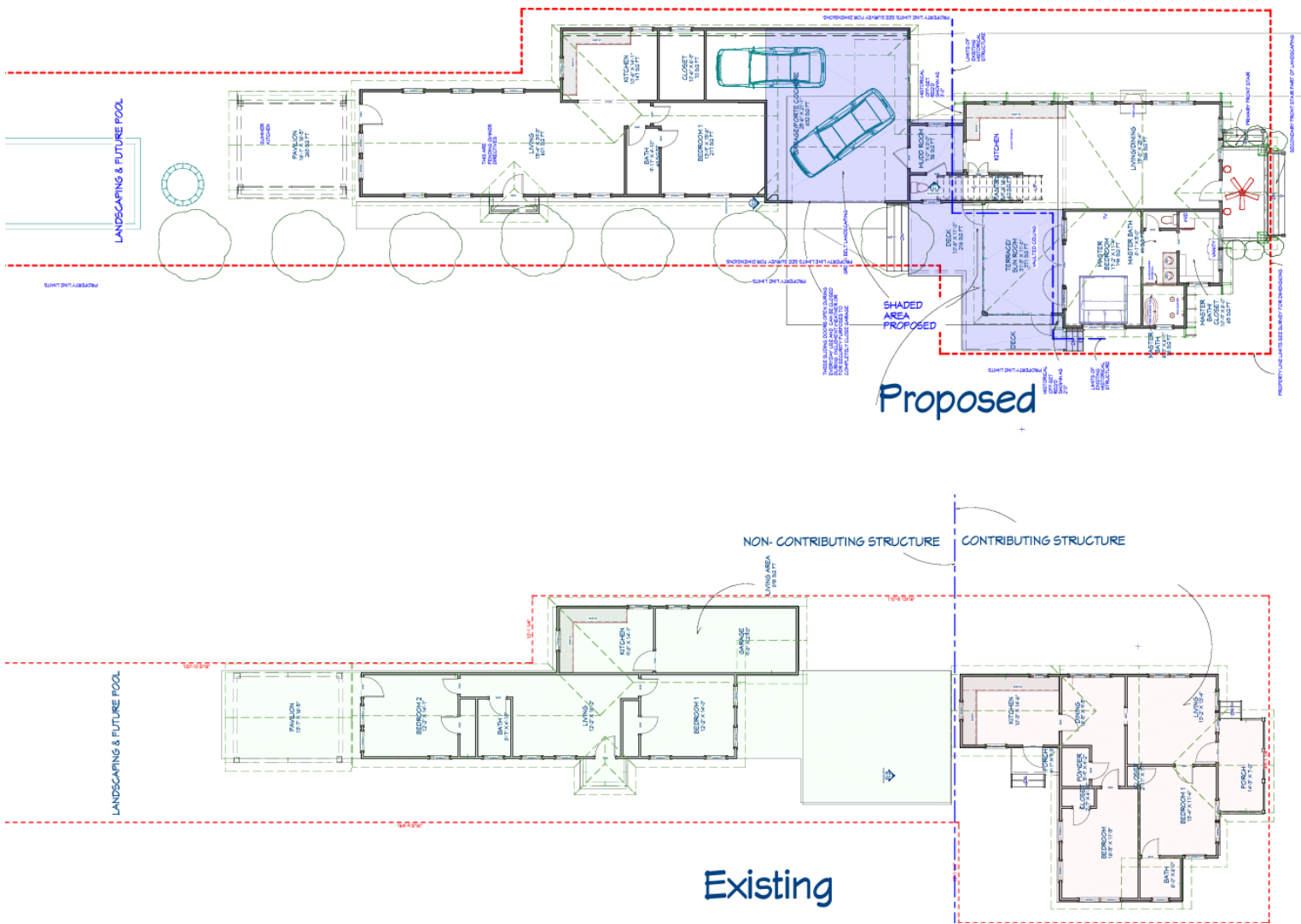
2nd Floor

Main House Proposed Second Floor

1/8" = 1'-0"

PROPOSED IS SHADED AREA

**FIRST FLOOR PLAN
W/ GUEST QUARTERS (2805 1/2)**



Area Tabulations:

Lot Size: 7862 SF

Existing Bungalow: 934 SF :

Contributing Existing Add-on : 898 SF :

Non Contributing New Second Floor: 425 SF

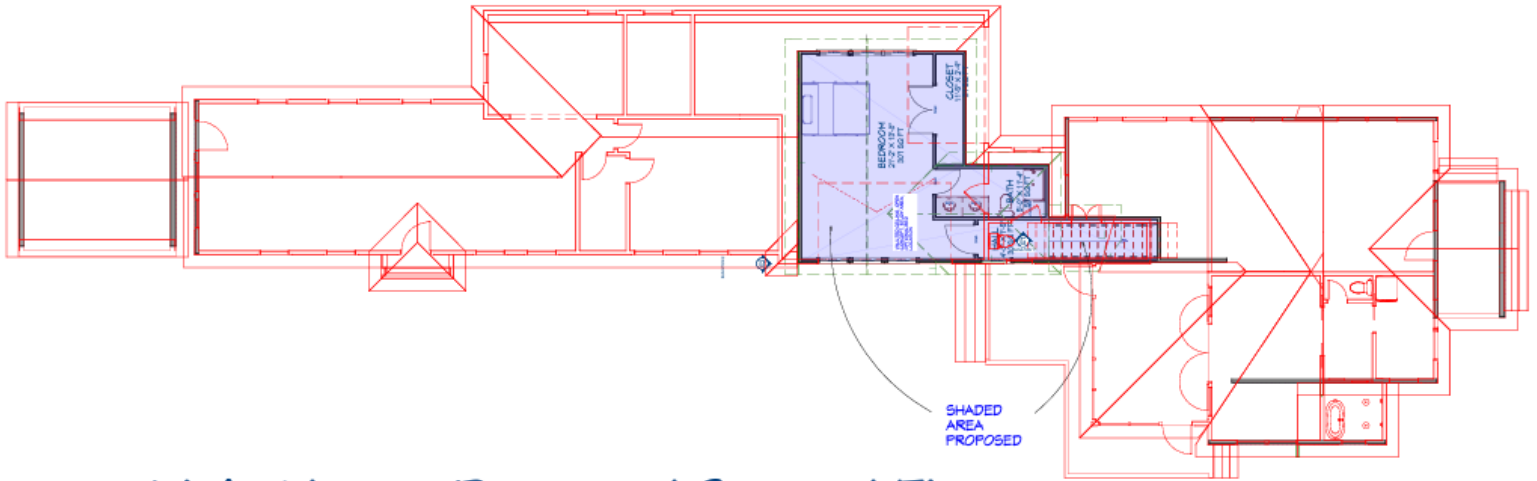
New Sun Room: 371 SF

New Mudd Room: 56 SF

New Deck:: 216 SF

New Garage: 632 SF

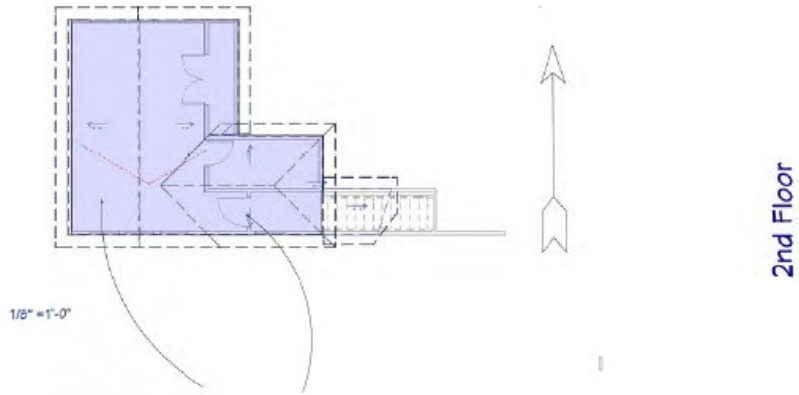
**SECOND FLOOR PLAN
W/ GUEST QUARTERS (2805 1/2)**



Main House Proposed Second Floor

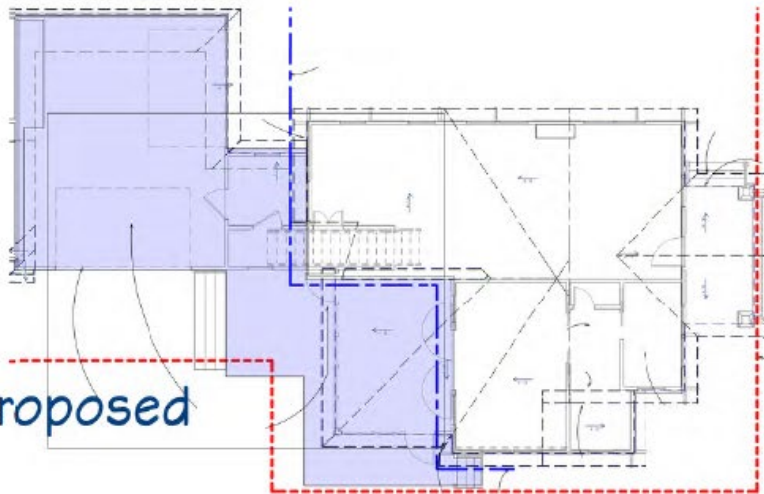
ROOF PLAN

Noncontributing
Structure not shown



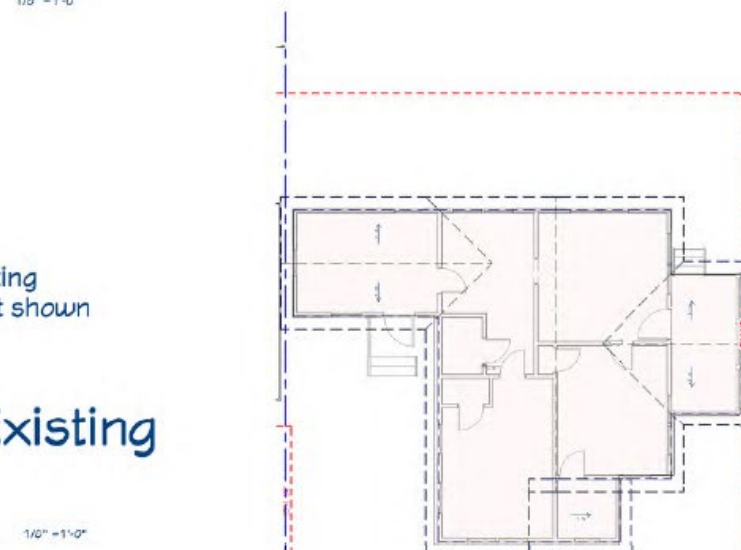
Noncontributing
Structure not shown

Roof Plan/ Proposed



Noncontributing
Structure not shown

Roof Plan/ Existing



FRONT EAST ELEVATION

EXISTING



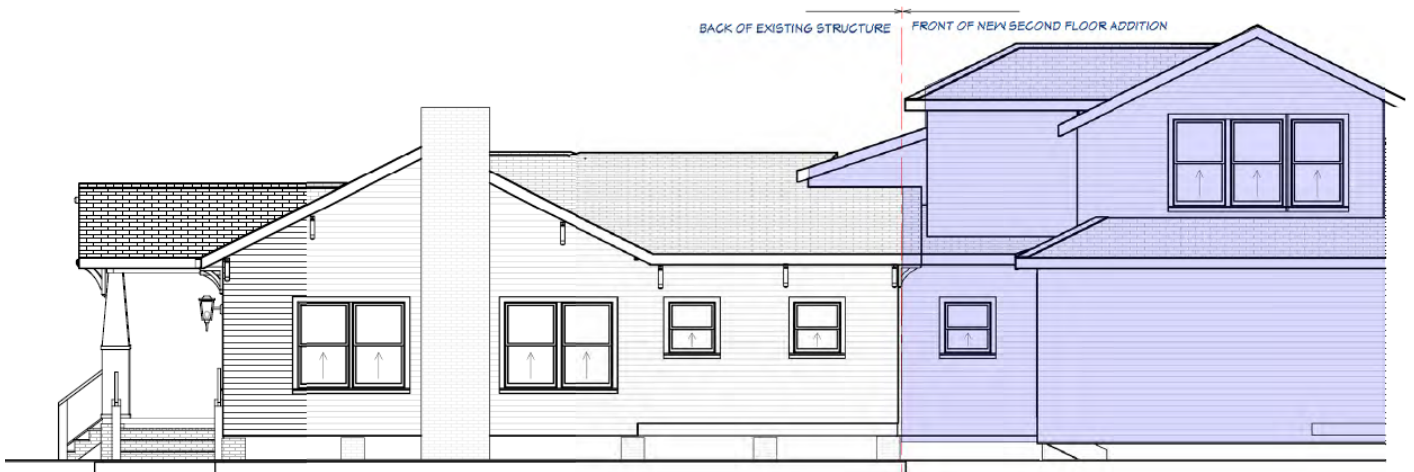
PROPOSED



**SIDE NORTH ELEVATION
EXISTING**

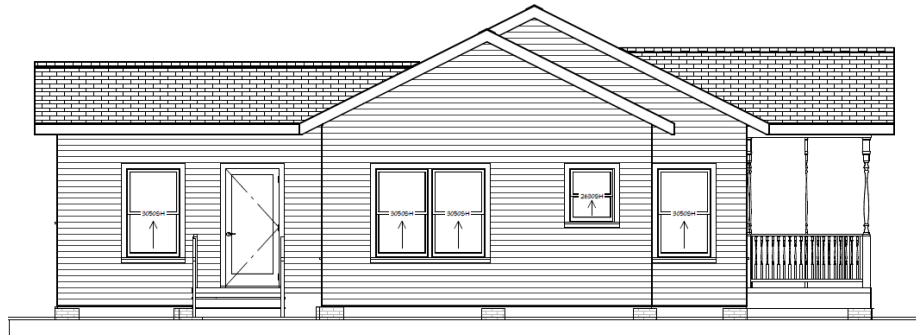


PROPOSED

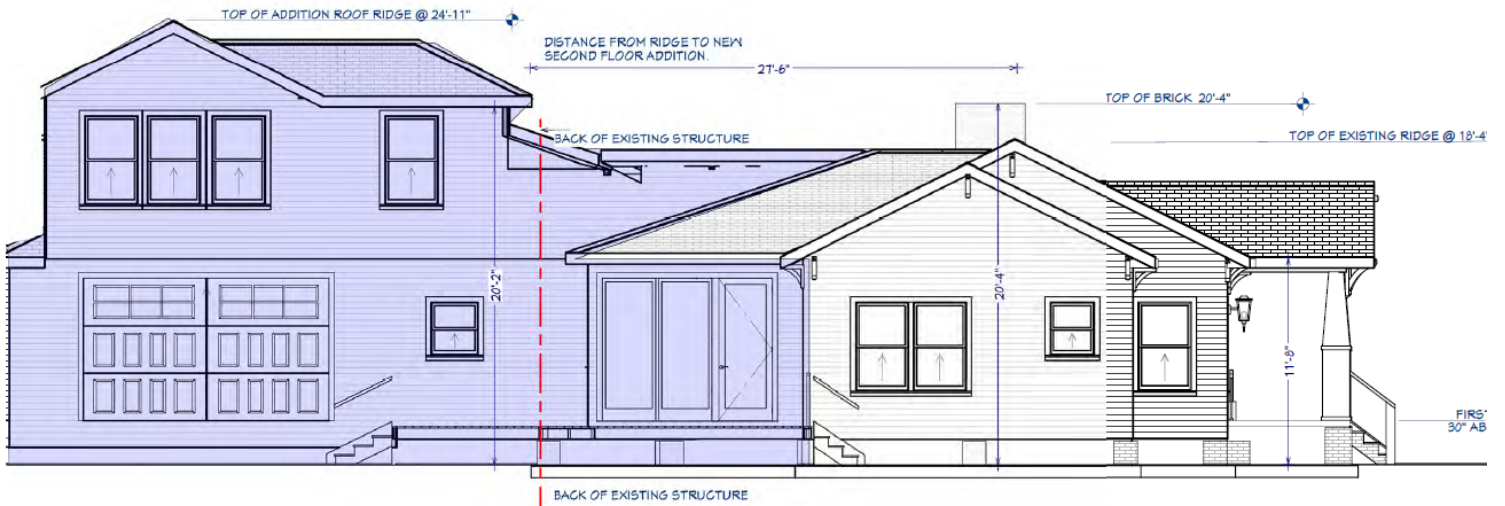


SIDE SOUTH ELEVATION

EXISTING



PROPOSED



PROPOSED W/ GUEST QUARTERS



**REAR WEST ELEVATION
EXISTING**



WINDOW & DOOR SCHEDULE

WINDOW SCHEDULE											
BD	EXTERIOR ELEVATION NUMBER	LABEL	QTY	FLOOR	SIZE	EGRESS	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS
		W01	2630SH	1	1	2630SH	31"X31"	SINGLE HUNG	2X6X34" (2)		
		W02	2630SH	4	1	2630SH	33"X31"	SINGLE HUNG	2X6X36" (2)		
		W03	3030SH	2	1	3030SH	31"X31"	SINGLE HUNG	2X6X40" (2)		
		W04	3050SH	1	1	3050SH	31"X61"	SINGLE HUNG	2X6X31" (2)		
		W05	3050SH	24	1	3050SH	31"X61"	SINGLE HUNG	2X6X40" (2)		
		W06	3050SH	1	2	3050SH	31"X61"	SINGLE HUNG	2X6X40" (2)		

DOOR SCHEDULE											
BD	EXTERIOR ELEVATION NUMBER	LABEL	QTY	FLOOR	SIZE	EGRESS	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS
		D01	1200	1	1	1200	14'X9'9"	GARAGE-GARAGE DOOR	GH05		2X12X192" (2)
		D02	131000	1	1	131000	16'X9'9"	GARAGE-GARAGE DOOR	GH05		2X12X114" (2)
		D03	2068	1	1	2068 L IN	26"X52 1/2"	HINGED-DOOR	F04		2X6X24" (2)
		D04	2660	1	2	2660 L IN	32"X34 1/2"	HINGED-DOOR	F04		2X6X39" (2)
		D05	2660	1	1	2660 L IN	32"X32 1/2"	HINGED-DOOR	F04		2X6X39" (2)
		D06	2660	1	1	2660 R IN	32"X32 1/2"	HINGED-DOOR	F04		2X6X39" (2)
		D07	2660	1	1	2660 R	45 1/4"X32 1/2"	POCKET-DOOR	F04		2X6X35 1/4" (2)
		D08	3068	2	1	3068 L EX	36"X69"	EXT. HINGED-DOOR	E21		2X6X41" (2)
		D09	3068	1	1	3068 L IN	36"X62 1/2"	HINGED-DOOR	F04		2X6X41" (2)
		D10	3068	1	1	3068 L/R EX	36"X69"	EXT. DOUBLE HINGED-DOOR	E21		2X6X41" (2)
		D11	3068	2	1	3068 R EX	36"X69"	EXT. HINGED-DOOR	E21		2X6X41" (2)
		D12	3068	1	2	3068 R IN	36"X62 1/2"	HINGED-DOOR	F04		2X6X41" (2)
		D13	3060	6	1	3060 EX	36"X99"	EXT. FIXED-GLASS PANEL			2X6X41" (2)
		D14	3060	1	1	3060 L EX	36"X99"	EXT. HINGED-GLASS PANEL			2X6X41" (2)
		D15	3060	1	1	3060 R EX	36"X99"	EXT. HINGED-GLASS PANEL			2X6X41" (2)
		D16	3060	1	2	3060 L/R IN	62"X14 1/2"	DOUBLE HINGED-DOOR	F04		2X6X69" (2)
		D17	3068	1	1	3068 L/R	130 1/2"X62 1/2"	DOUBLE POCKET-DOOR	F04		2X6X128 1/2" (2)
		D18	3068	1	1	3068 L/R EX	14"X69"	EXT. DOUBLE HINGED-GLASS PANEL			2X10X17" (2)