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**CERTIFICATE OF APPROPRIATENESS**

**Applicant:** Rachel Eddins, owner and Ramiro Alvarado, agent

**Property:** 802 Alabama Street, Lt 10 & Tr 9, Block 18, Montrose Subdivision. The property includes a 3,468 SF house situated on a 9,000 square foot corner lot.

**Significance:** Contributing Queen Anne residence with Craftsman influences constructed circa 1914, located in the Audubon Place Historic District

**Proposal:** Alteration – Dormer, windows, door, restoration of porch

- Restore porch details to reflect historic photos.
- Restore exposed rafter tails on porch and roof throughout.
- Existing side door on Stanford St. side to be reverted back into window on first floor.
- Re-open historic window location on right elevation and replace with door (facing Stanford St.) Door to be relocated from beforementioned bay window opening.
- On first floor, in location of existing door and transom to be restored to window, matching historic lite pattern, inset recessed (Spanish cedar- see details)
- On second floor, existing door that opens onto the porch roof/balcony will be returned to a window, matching historic lite pattern, inset recessed. (Spanish cedar- see details)
- Restore existing historic window opening on left elevation, repair window (currently boarded from the inside).
- Add gable dormer at rear to allow for 3<sup>rd</sup> floor programming, roof material to match, window inset and recessed of wood clad.
- Remove ramp facing Stanford and install a lift at rear entry.

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** -

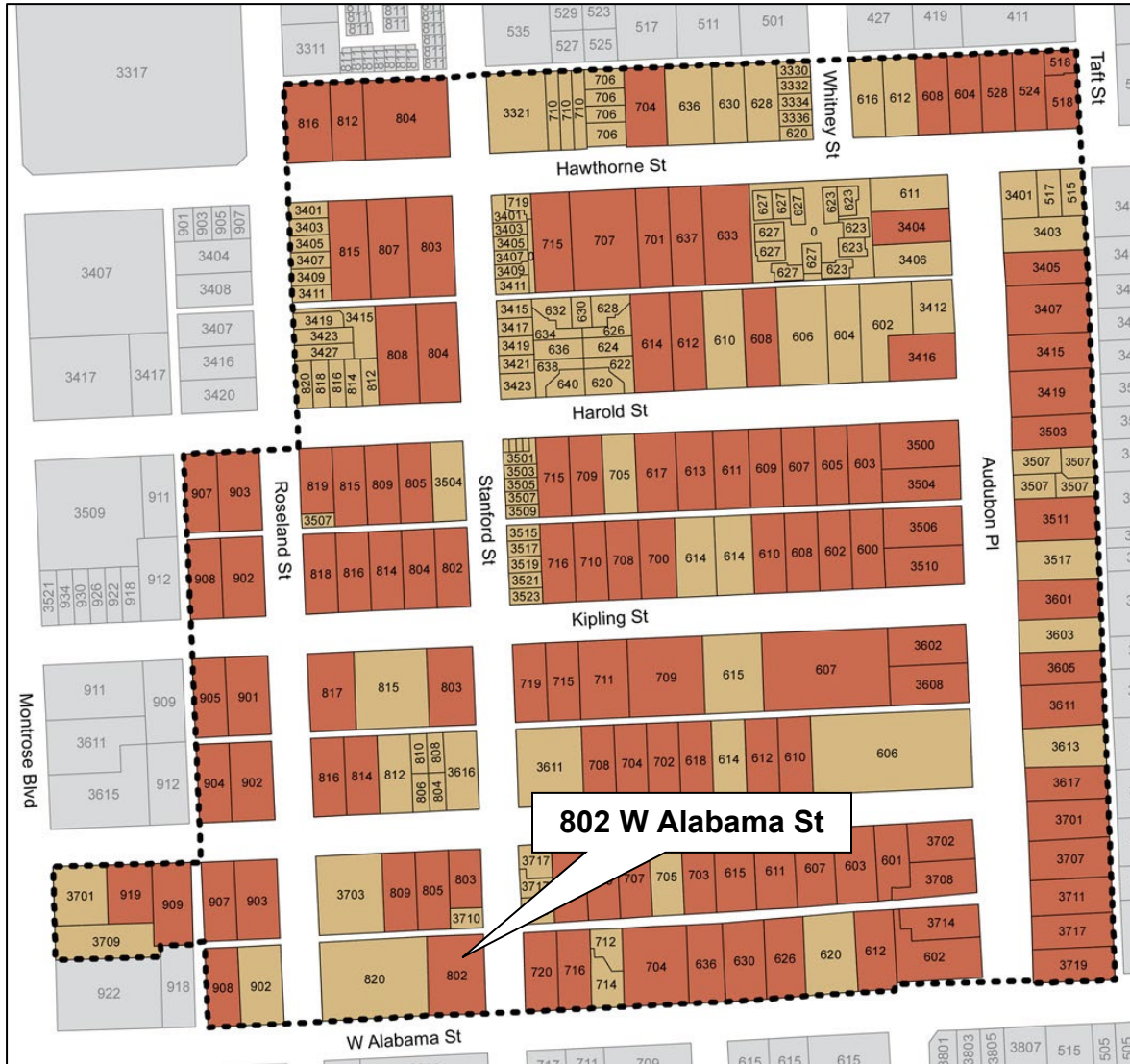
## APPROVAL CRITERIA

### ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | <b>S</b>                            | <b>D</b>  | <b>NA</b>                           |   |
|-------------------------------------|---|-------------------------------------|---|
|                                     | <b>S - satisfies    D - does not satisfy    NA - not applicable</b> |                                     |   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (1) The proposed activity must retain and preserve the historical character of the property;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use;   |
| <input type="checkbox"/>            | <input type="checkbox"/>  | <input checked="" type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;                 |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements and must be compatible with the size, scale, material and character of the property and the area in which it is located; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>  | <input type="checkbox"/>            | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and  |
| <input type="checkbox"/>            | <input type="checkbox"/>  | <input checked="" type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.  |

### PROPERTY LOCATION AUDUBON PLACE HISTORIC DISTRICT



**Building Classification**

- Contributing
- Non-Contributing
- Park



**INVENTORY PHOTO**



**CURRENT PHOTOS**



CURRENT PHOTOS



**CURRENT PHOTOS – RE-OPEN -FORMER WINDOW TO MAKE DOOR**



**CURRENT PHOTO Enclosed window opening – to be reopened on right side**



**CURRENT PHOTO Enclosed window opening – transition to door with transom**



**PROPOSED DOOR – RECOMMENDED TO MOVE EXISTING, IF POSSIBLE**

**CURRENT PHOTO – CORNER OF W ALABAMA AND STANFORD**



**HISTORIC PHOTO**





**CURRENT PHOTO**



**HISTORIC PHOTO**



**CURRENT PHOTOS – LEFT ELEVATION WINDOWS TO BE REOPENED**



**CURRENT PHOTOS – LEFT ELEVATION SECOND FLOOR REAR WINDOWS**

(SOME REPLACEMENT WINDOWS ON SECOND FLOOR)



EXISTING REAR PHOTO



(HISTORIC)



FRONT ELEVATION

EXISTING



PROPOSED



FRONT ELEVATION

PROPOSED



HISTORIC



**\*REFERENCE FOR FRONT PORCH RECONSTRUCTION**

\* AGENT HAS CONFIRMED COLUMNS SHOULD MATCH PHOTOGRAPH AND WILL NOT BE FLUTED

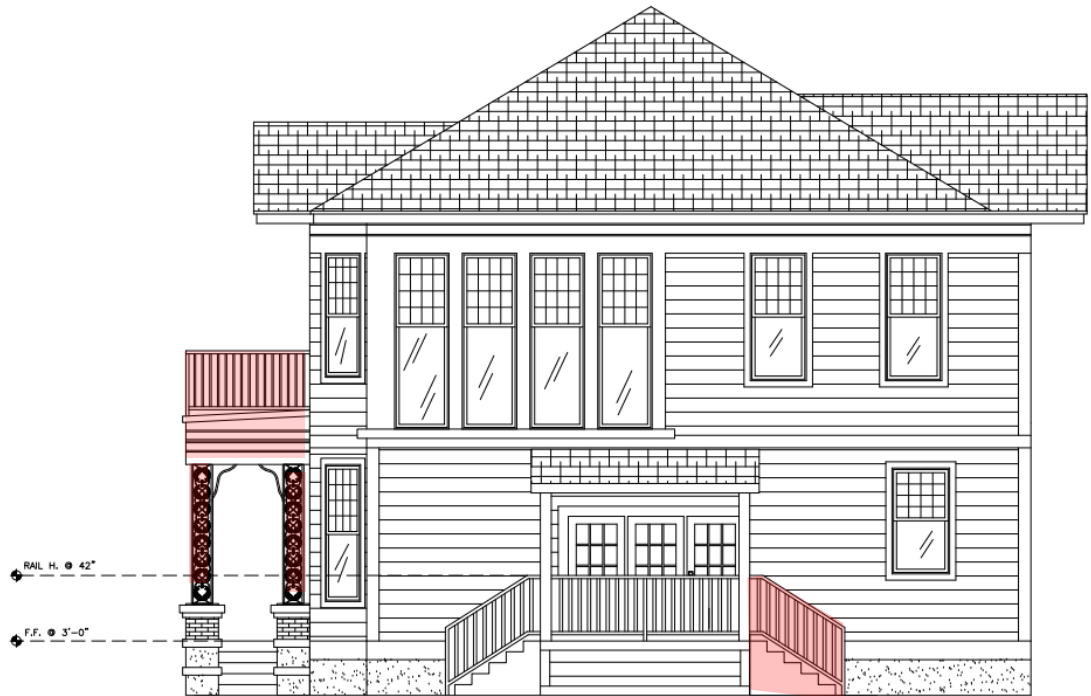
EXISTING RIGHT ELEVATION



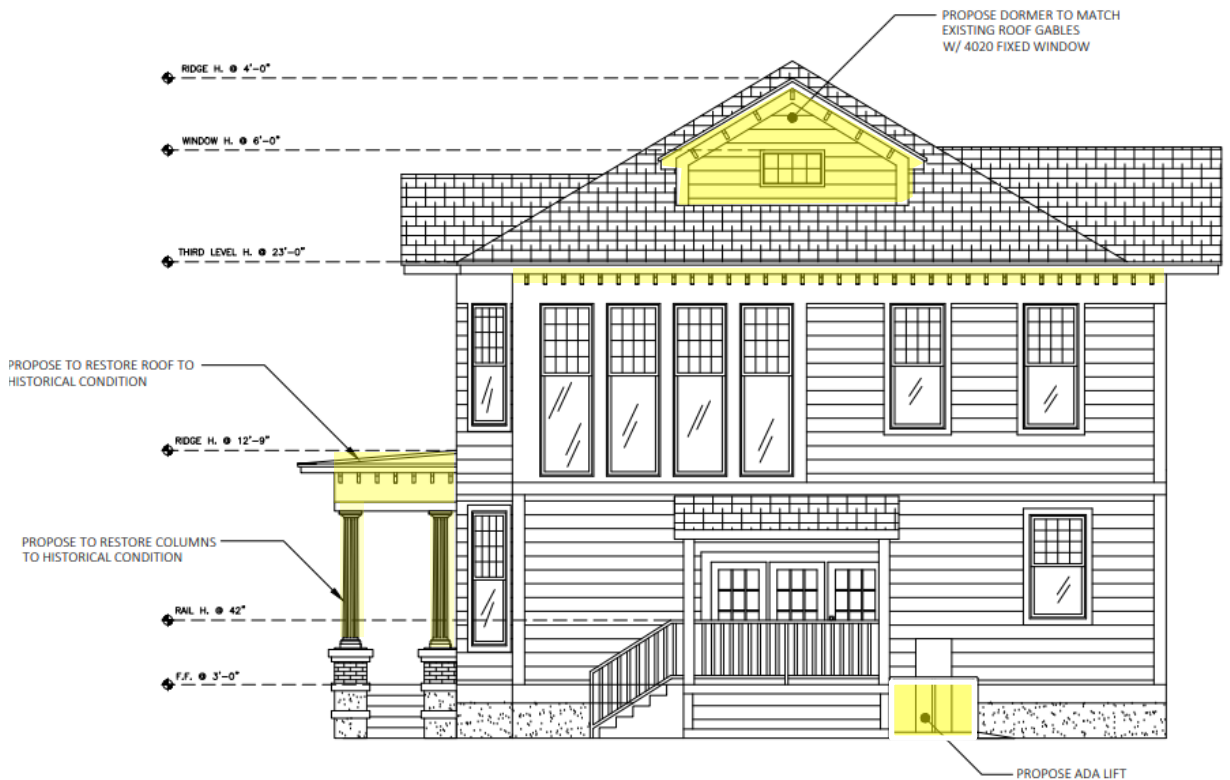
PROPOSED RIGHT ELEVATION



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION





EXISTING LEFT ELEVATION – INTERIOR

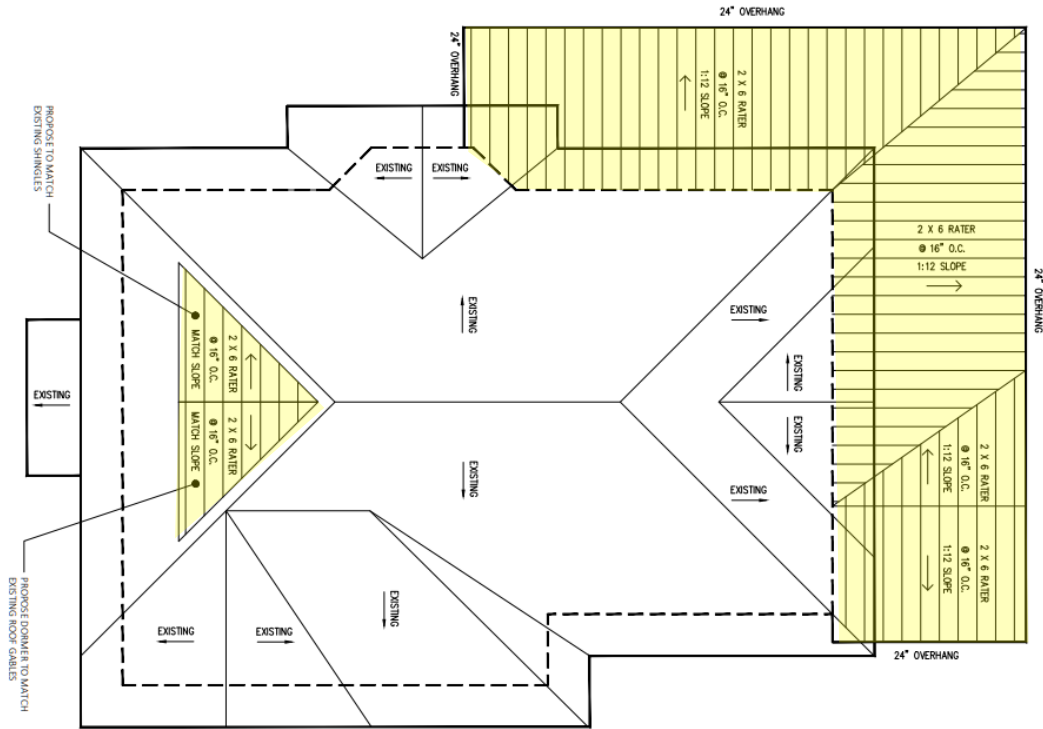


PROPOSED LEFT ELEVATION

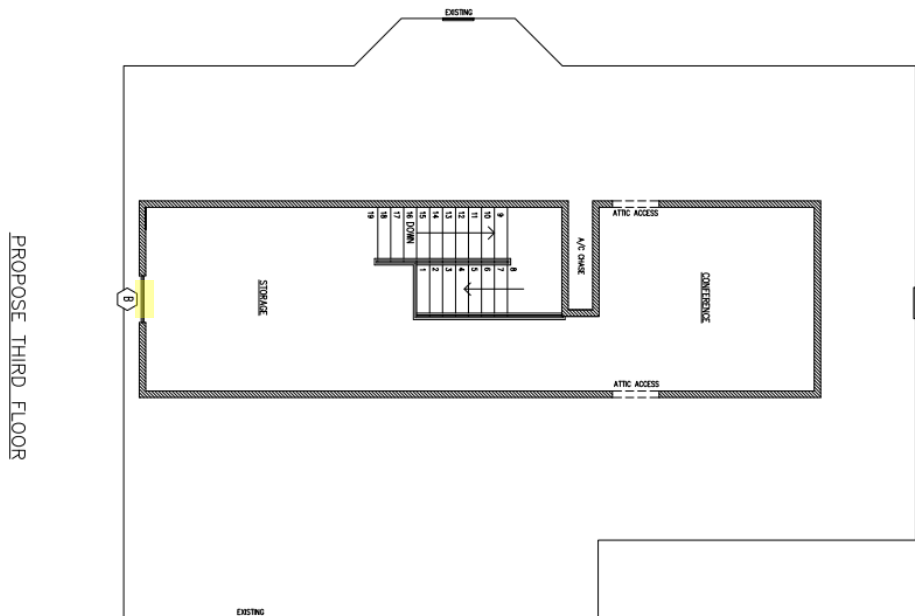




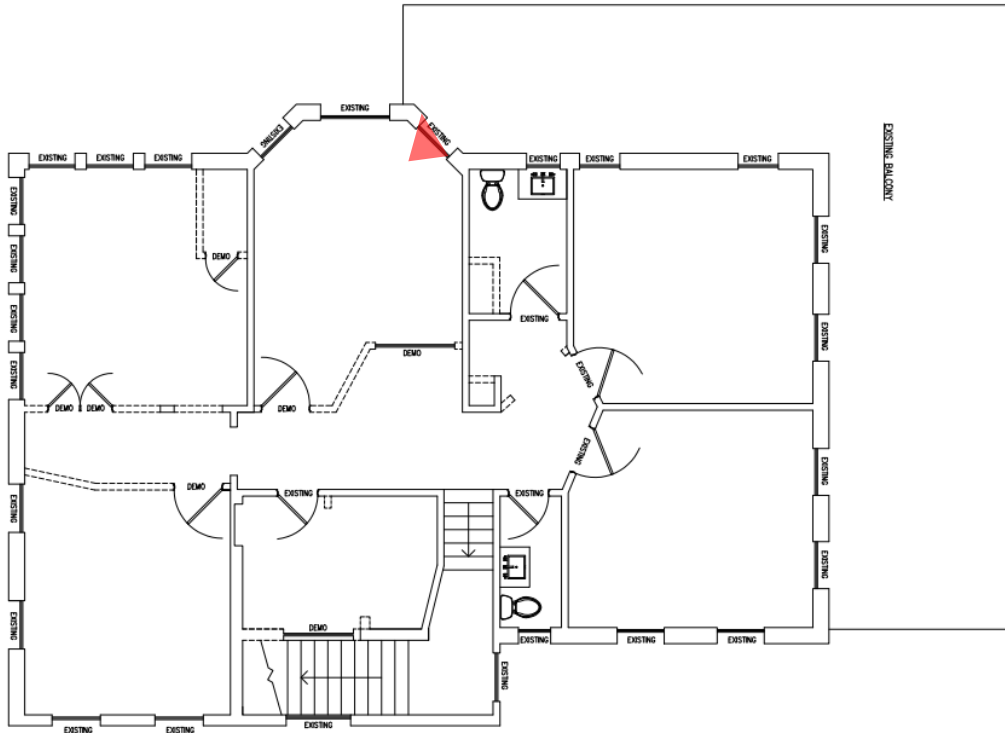
### PROPOSED ROOF PLAN - FRONT



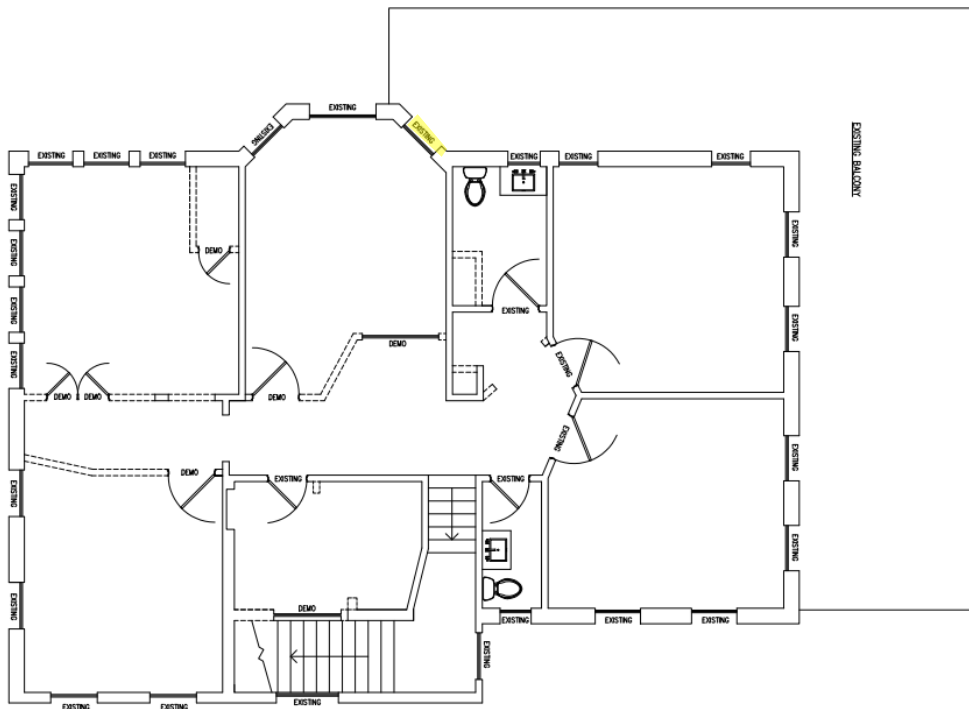
### PROPOSED THIRD FLOOR PROGRAMMING



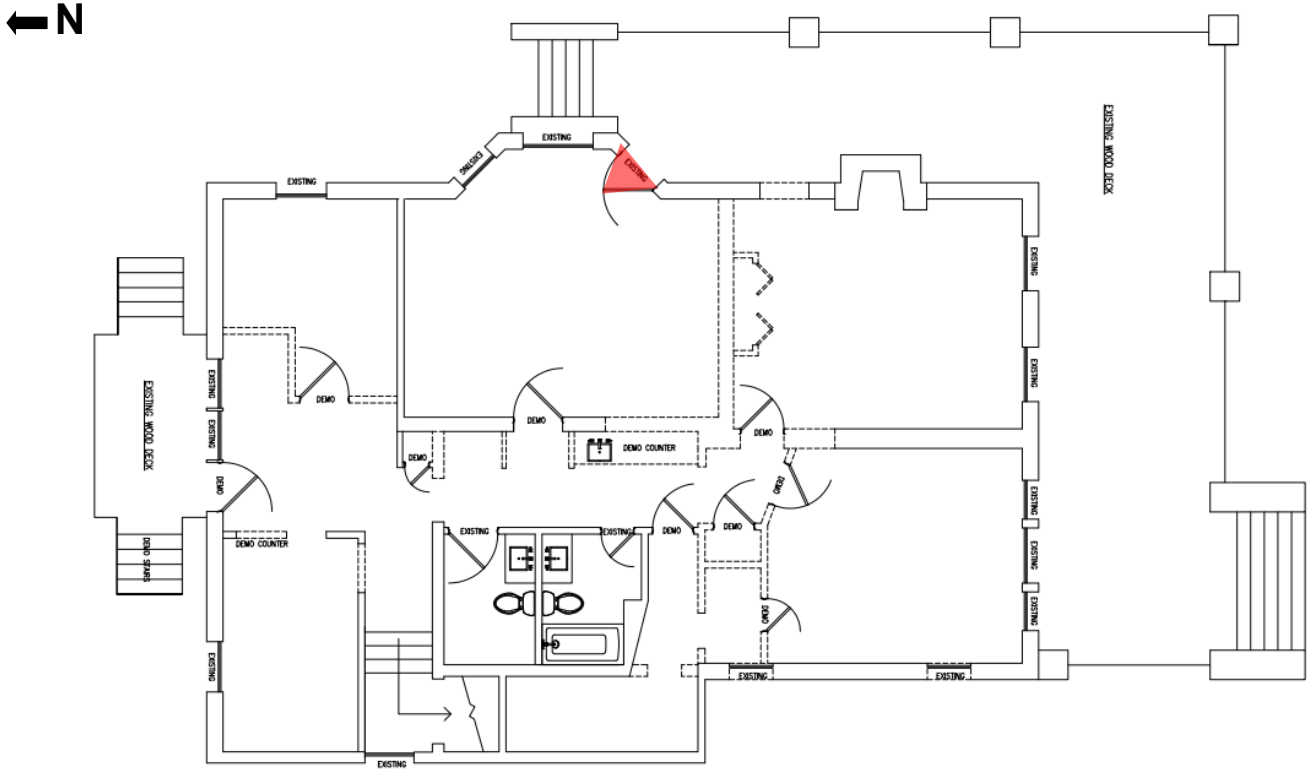
EXISTING SECOND FLOOR - REMOVE NON-HISTORIC DOOR, RESTORE WINDOW - FRONT



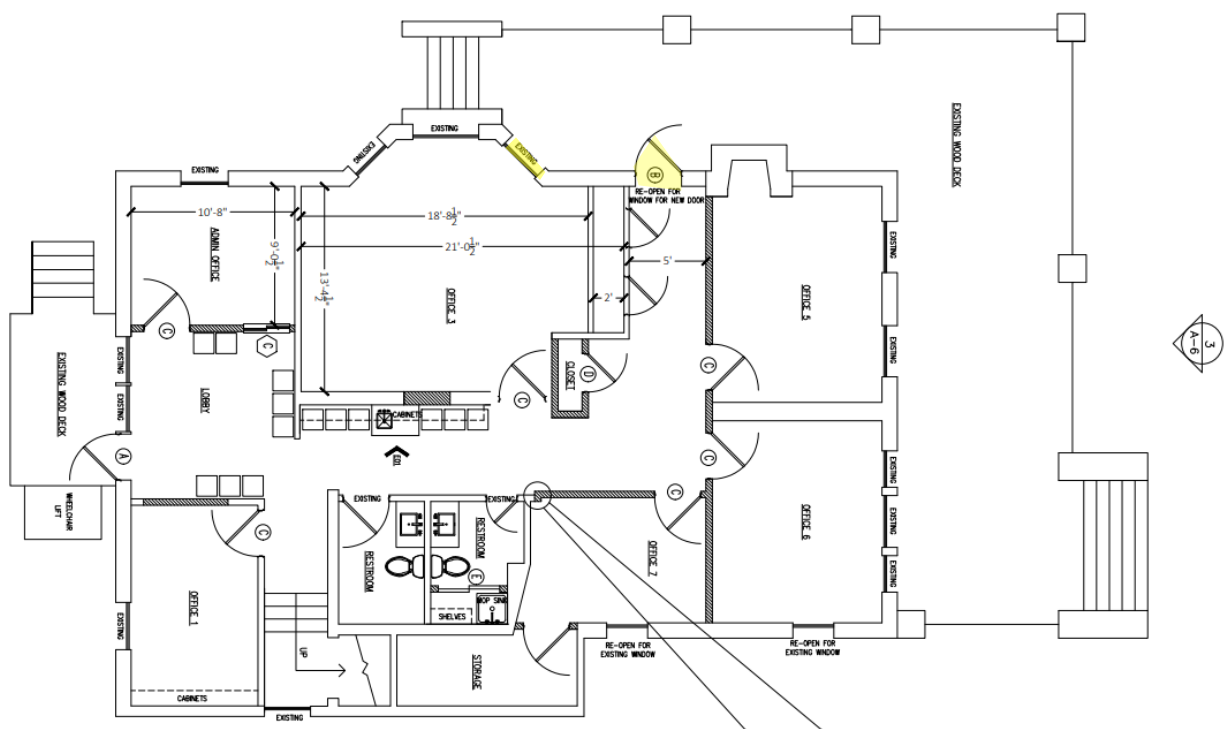
PROPOSED SECOND FLOOR



EXISTING FIRST FLOOR – FRONT



PROPOSED FIRST FLOOR



**Certificate Of Appropriateness: Alteration/Addition Worksheet**

(For buildings outside Houston Heights East, West, or South Districts)



**PLANNING & DEVELOPMENT DEPARTMENT**

\* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

**Address:** 802 Alabama St Houston Tx 77006

**Lot Size (Total Sq Ft):** 9,000 sq.ft.

**General Addition Info:**

**Lot Dimensions (W X L):** 120 X 87.5

Existing stories*	2	Proposed addition stories*	3
Existing max ridge height*	36'-10"	Proposed max ridge height*	36'-10"
Existing max eave height*	26'-0"	Proposed max eave height*	26'-0"

Square Footage/Lot Coverage:	Existing	Proposed/New *do not include existing	= End Result/ Total
Ground Floor Square Footage of Primary Building (HCAD)* <small>*please include sunrooms or enclosed porches w/ walls or window</small>			
Detached Garage, Garage Apt or Accessory Building Square Footage			
<small>* Subtract detached garages more than 528 square feet by 528 square feet. If smaller than 528 sq ft, please subtract only the amount less than 528 sq ft.</small>			
	<b>New Total Lot Coverage* =</b>		

**Setbacks From Property Line:**

	Existing	Proposed/New	Shares property line with neighbor -Y/N?
North*			
South*			
East*			
West*			

Do you have flooding issues?  YES  NO

**Foundation:**

	Existing	Proposed/New Addition
Grade to Finished Floor Height (1st fl)*		
Type*		
Material*		

**Max Width/Depth & Inset:**

*widest building wall corner to corner*	Existing	Proposed/New *do not include existing	= End Result/Total
Max Width*			
Max Depth*			

Are original corners maintained with an inset on the addition?\*

YES or NO

Please advise inset dimensions for applicable corners:

**Roof:**

	Existing	Proposed/New Addition
Pitch*	7:12	7:12
Style*	hip roof	add dormer
Material *	shingles	shingles

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/ Inset	Brand/ Vendor	Other
<i>Ex. A1</i>	<i>Wood</i>	<i>1/1</i>	<i>DH</i>	<i>32 x 66</i>	<i>Recessed</i>	<i>Plygem</i>	
Right Side 1 Floor	wood	1/1	DH	36 X 84	Recessed	Plum Alley	Spanish Cedar
Right Side 2 Floor	Wood	1/1	DH	36 X 84	Recessed	Plum Alley	Spanish Cedar
New Dormer	Clad Wood	1/1	Awning	48 X 24	Recessed	Jeld-Wen	Painted

**FOR WINDOW RESTORATION/REPLACEMENT:**

**Plum Alley Windowcraft LLC**

2522 Calumet Street  
 Houston, TX 77004  
 +1 2142285839  
 info@plumalleywindows.com



**Estimate**

ADDRESS

Rachel Eddins  
 802 W Alabama  
 Houston, Tx 77004

ESTIMATE  
 DATE

DATE	ACTIVITY	DESCRIPTION	QTY
	Sash replica build- 16 lite	construct new 36x42 tenon and mortise 16 lite sash with historically accurate muntin profiles. Glaze sash with sarco type M putty, and use flat single strength glass. species: Spanish cedar.	2
	Replica sash build -1 lite	construct new 36x42 tenon and mortise 1 lite sash with historically accurate muntin profiles. Glaze sash with sarco type M putty, and use flat single strength glass. species: Spanish cedar.	2
	Jamb replication	Build new replica jamb, sill, and subsill w/ spanish cedar, sand with 220, prime, sand with 220, and 2 coats of finish paint	2
	Jamb installation	demo existing opening and door jamb, reframe opening and install new window jamb (painted), subsill (primed), and interior stool (primed). Exterior trim and siding patchwork install (primed) included, interior trim not included.	2
	1 1/4" Spring Bronze weatherstripping	Price per linear foot. Spring Bronze weatherstripping installation on bottom sashes, at jamb sides.	14

**FOR DORMER WINDOW: WOOD CLAD**

JELD-WEN

48 in. x 20 in. W-2500 Series Red Painted Clad Wood Awning Window w/  
Natural Interior and Screen

★★★★★ (18) Questions & Answers (23)



Live Chat  
Feedback

