

**CERTIFICATE OF APPROPRIATENESS**

**Applicant:** Gregory Suellentrop, owner; Ben Koush, agent

**Property:** Tract 11, Abstract 1, J. Austin Survey, City of Houston, Harris County, Texas.

**Significance:** The Klunkert Farmhouse at 2911 Julian in the Woodland Heights neighborhood was built circa 1875, long before the subdivisions that now surround it.

**Proposal:** Demolish current 1-story rear addition and build new 1-story addition at rear of house.

**Public Comment:** No comment received.

**Civic Association:** No comment received.

**Recommendation:** Approval  
**HAHC Action:** -

*All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.*

**CERTIFICATE OF APPROPRIATENESS**

**Basis for Issuance:**  
**Effective:**



**PLANNING & DEVELOPMENT DEPARTMENT**

COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

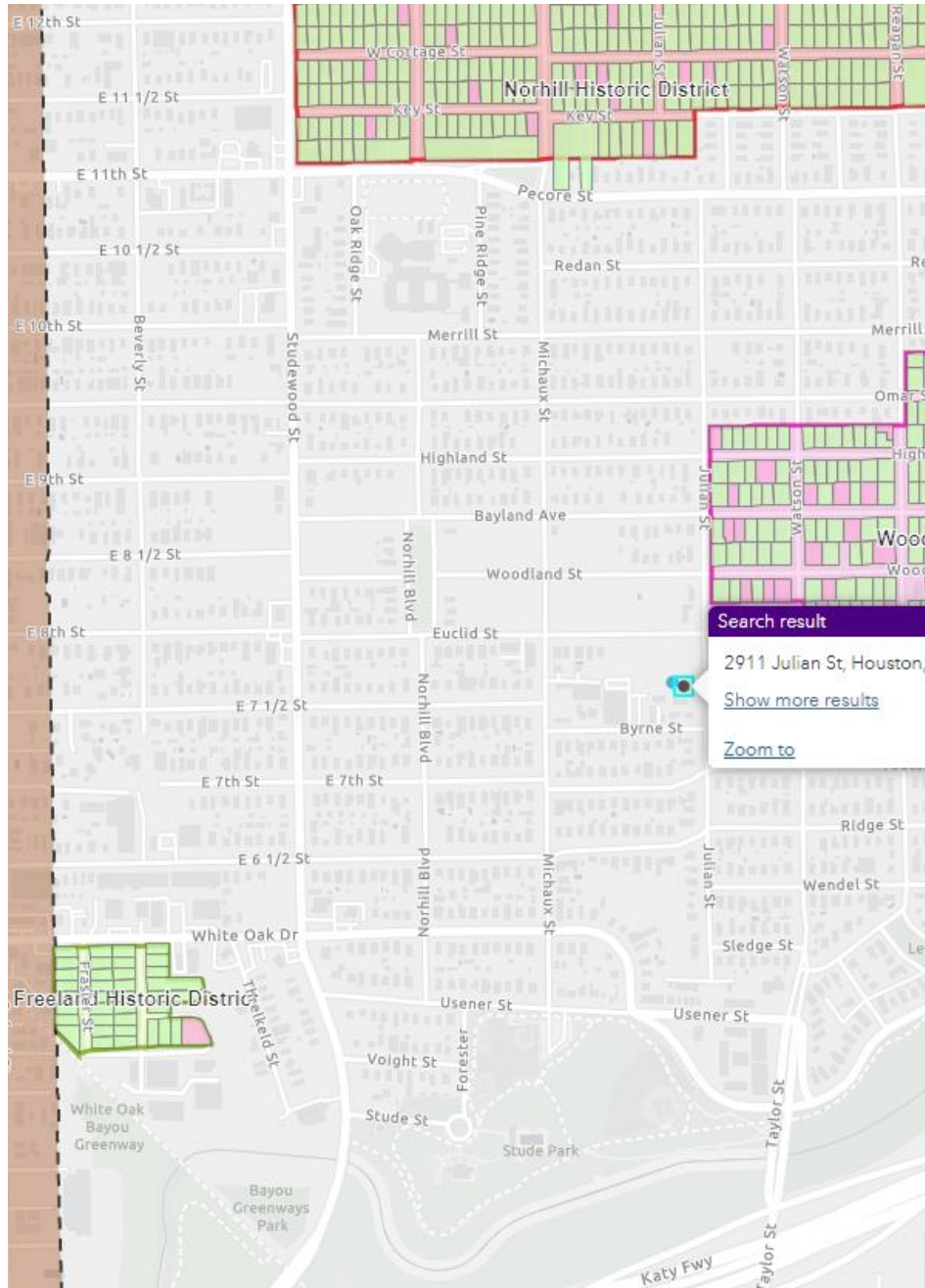
ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- S D NA S - satisfies D - does not satisfy NA - not applicable
(1) The proposed activity must retain and preserve the historical character of the property.
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

### PROPERTY LOCATION

### Protected Landmark



CURRENT PHOTO



### SITE PLAN

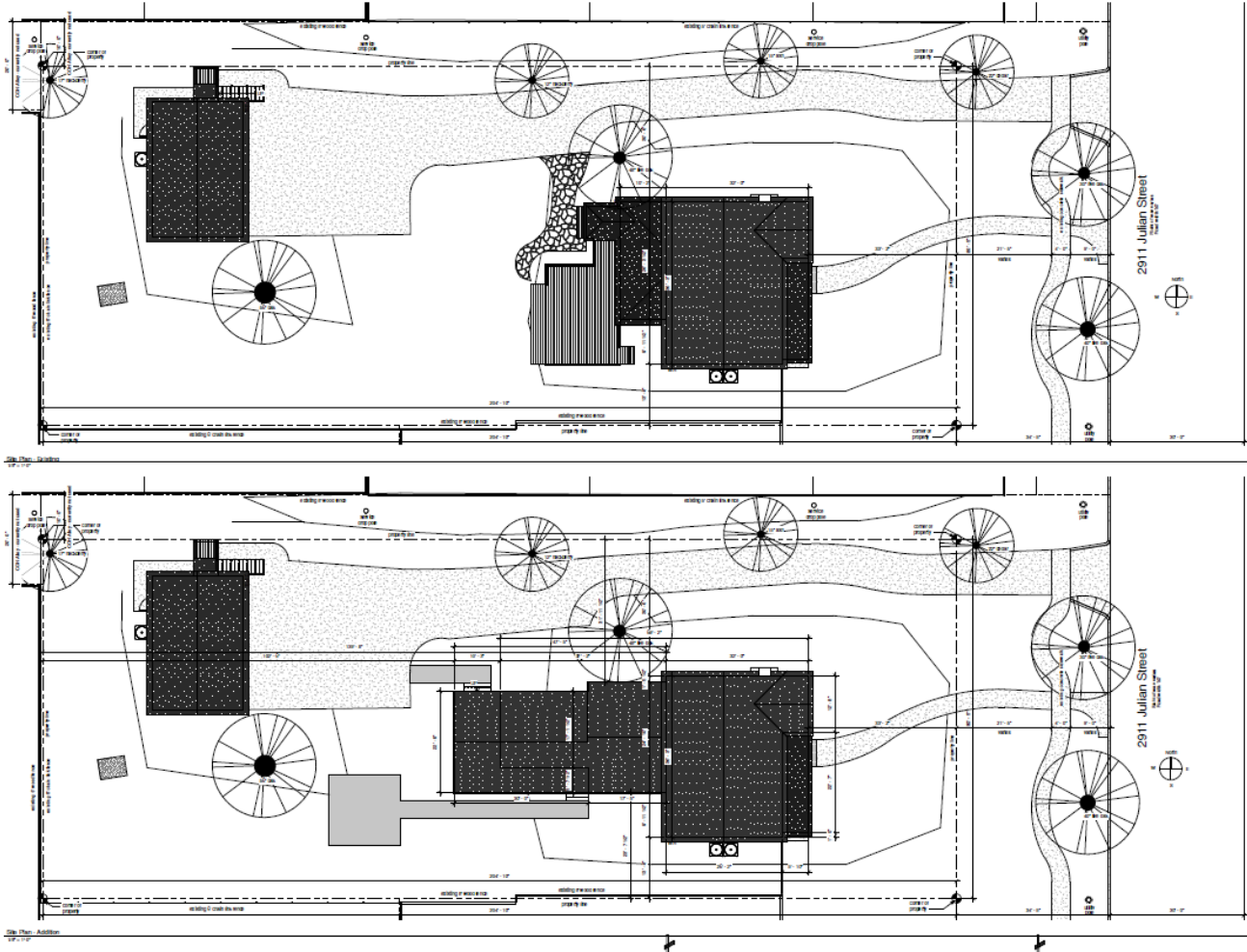


Figure 1 - Site Plan \_ Existing above and proposed below

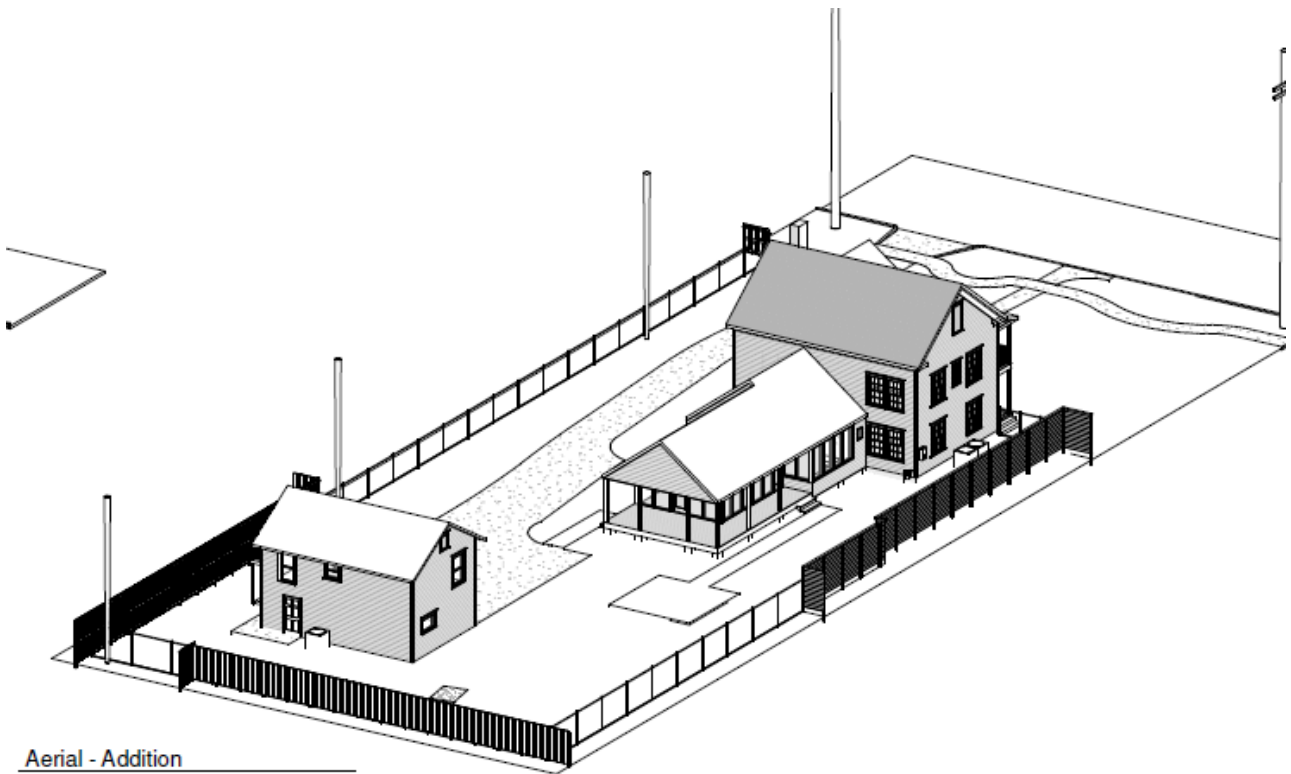
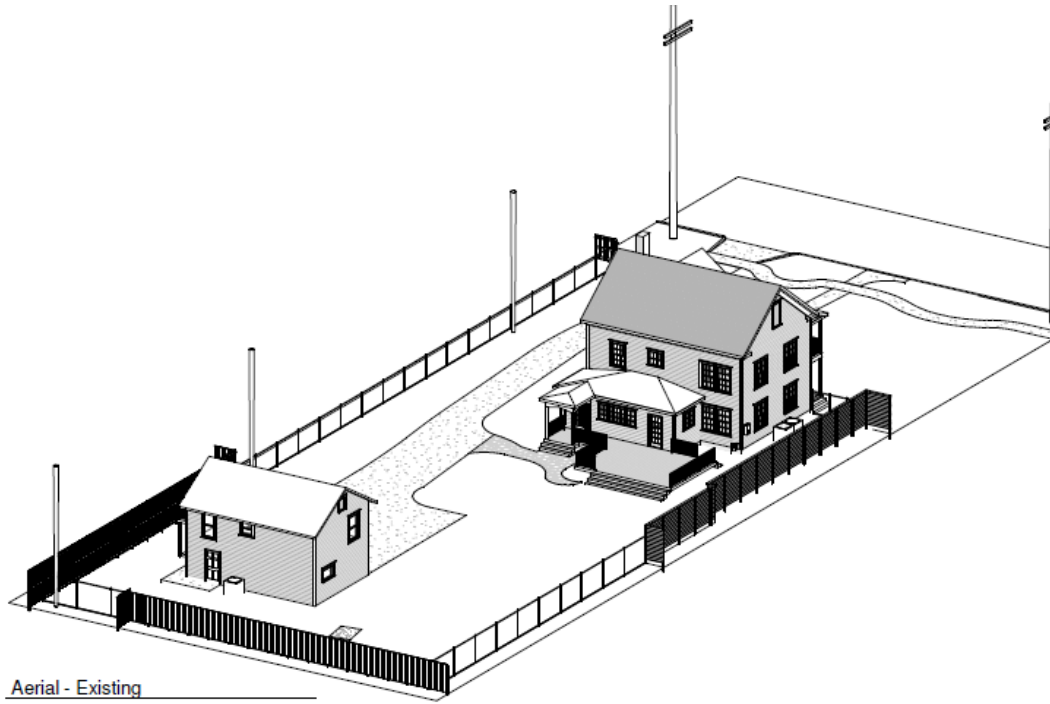
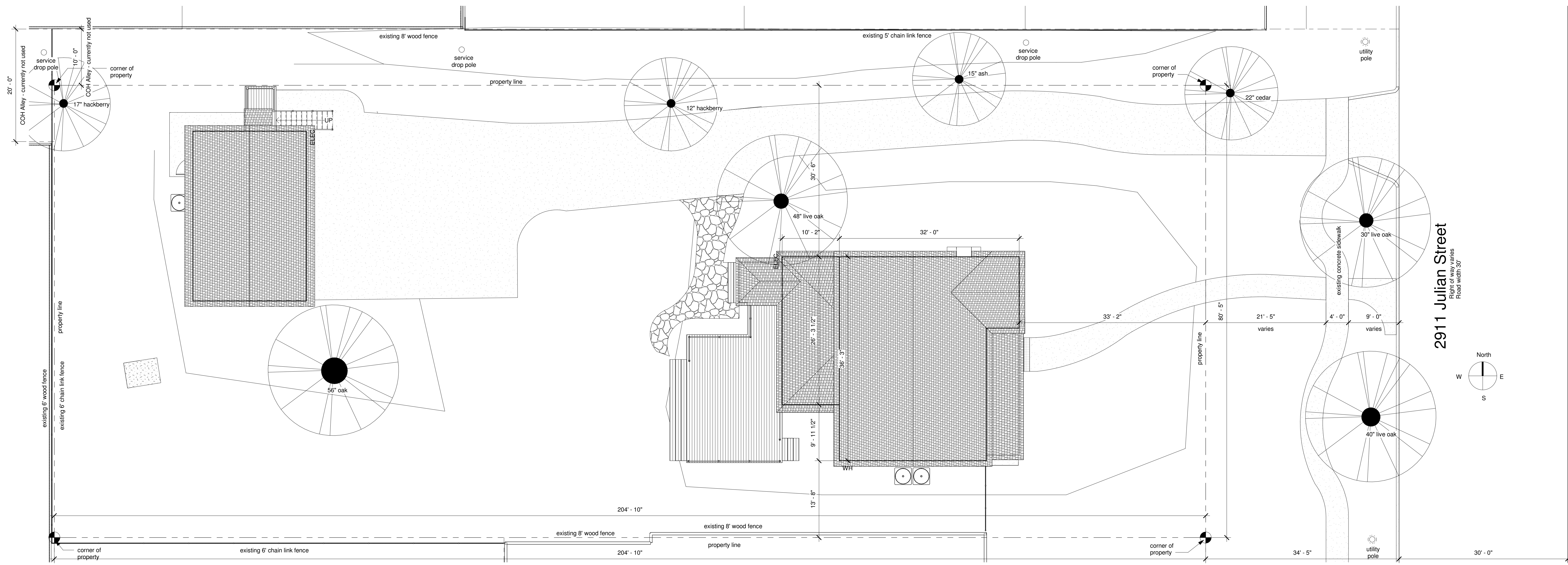
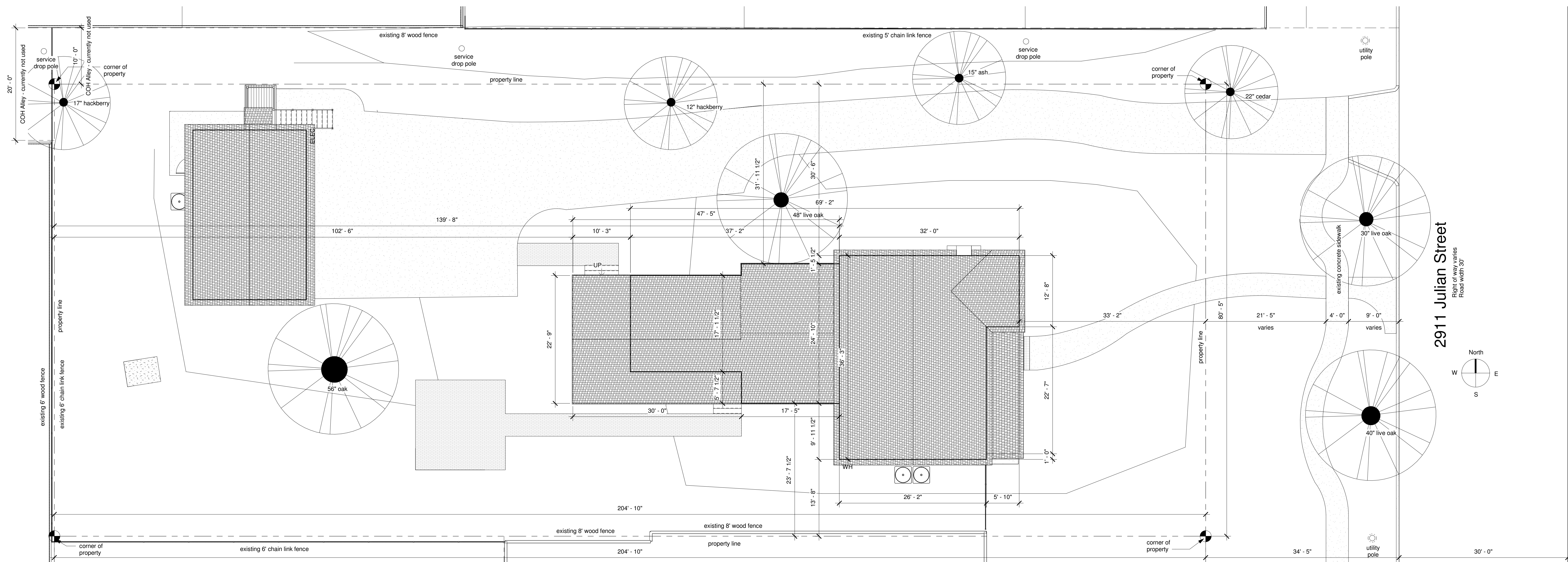


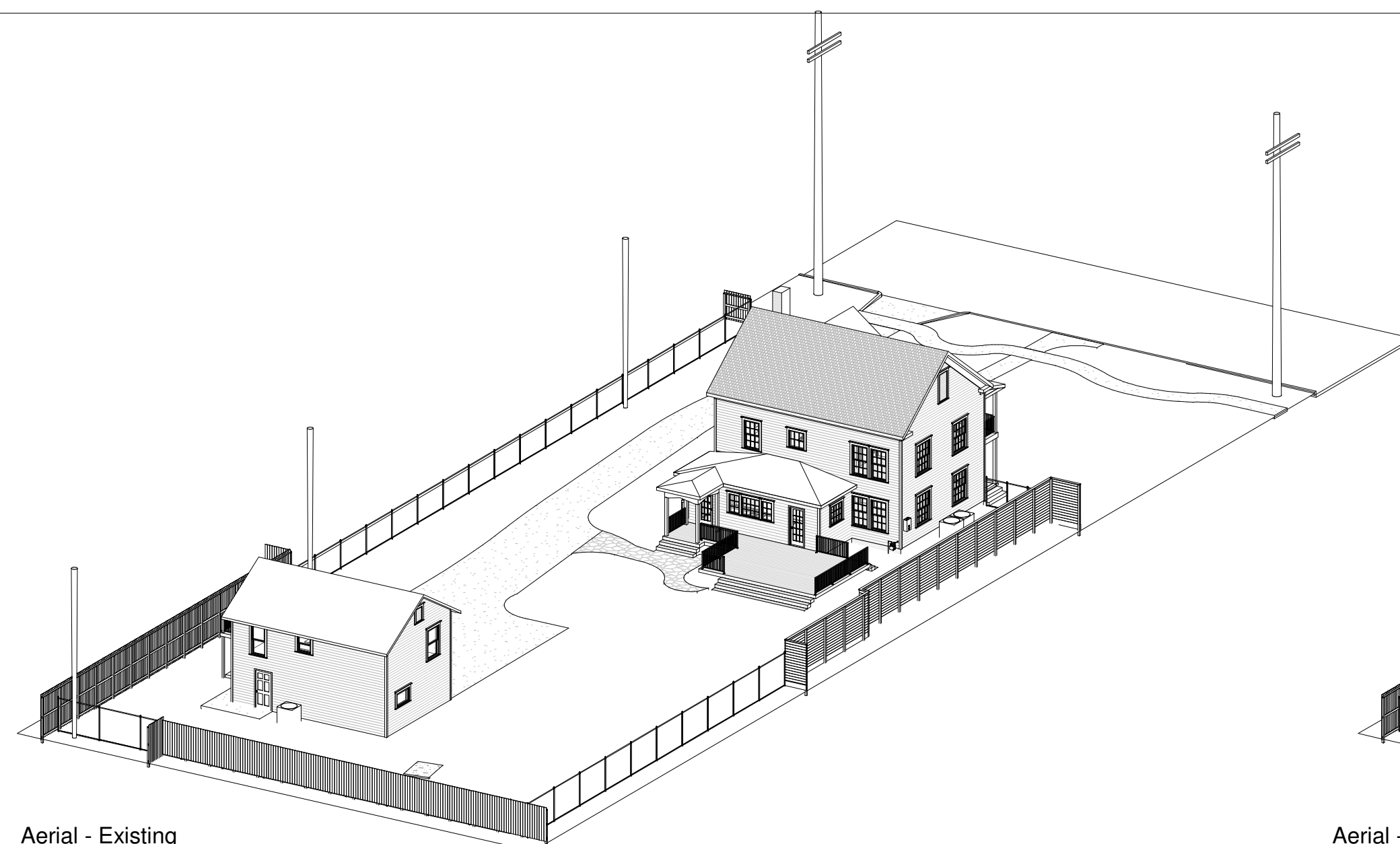
Figure 2 - Rendering of Property with Proposed new Addition view from rear of lot



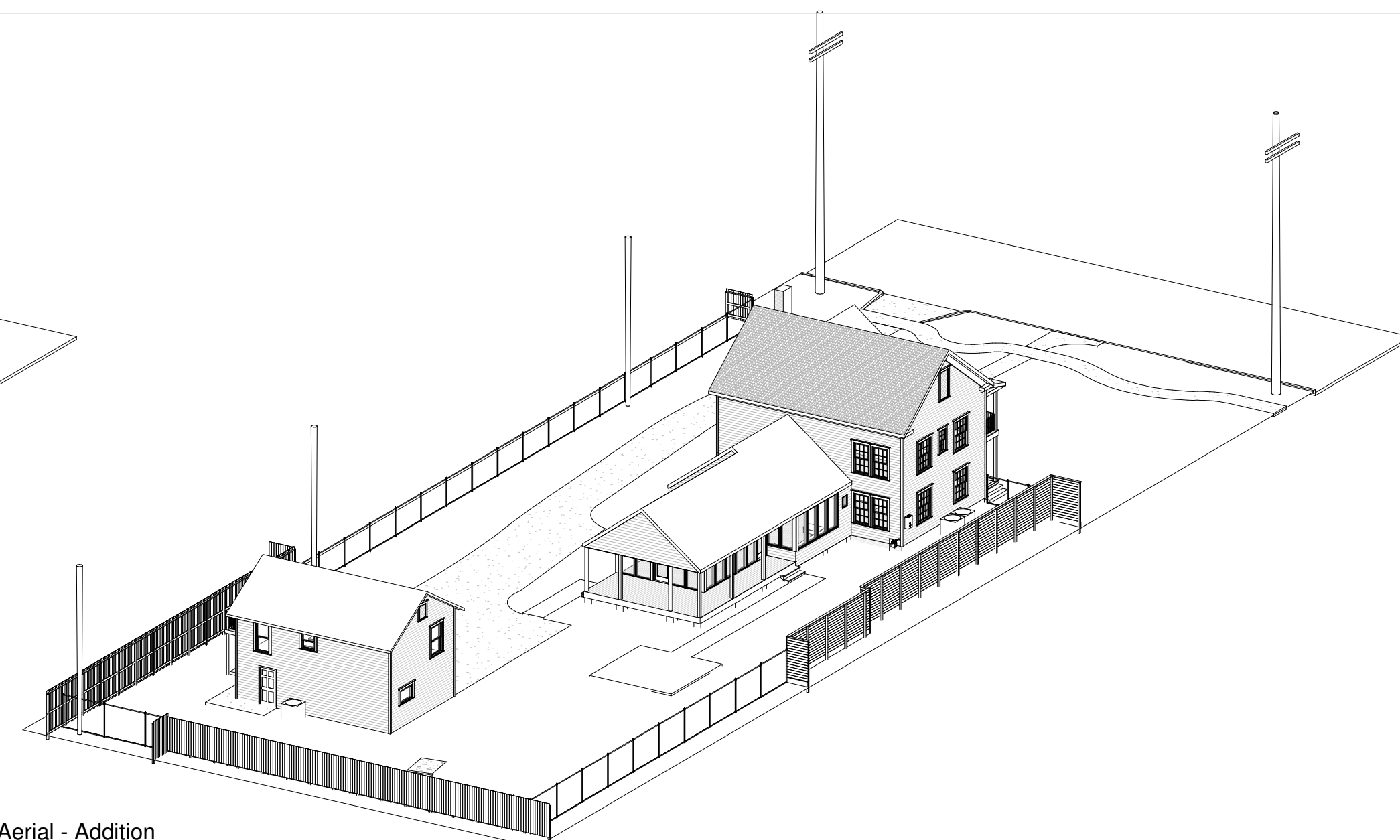
Site Plan - Existing  
1/8" = 1'-0"



Site Plan - Addition  
1/8" = 1'-0"



Aerial - Existing



Aerial - Addition

**BEN KOUSH** ASSOCIATES  
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Suellentrop  
Remodel + Addition  
2911 Julian Street  
Houston, Texas 77009

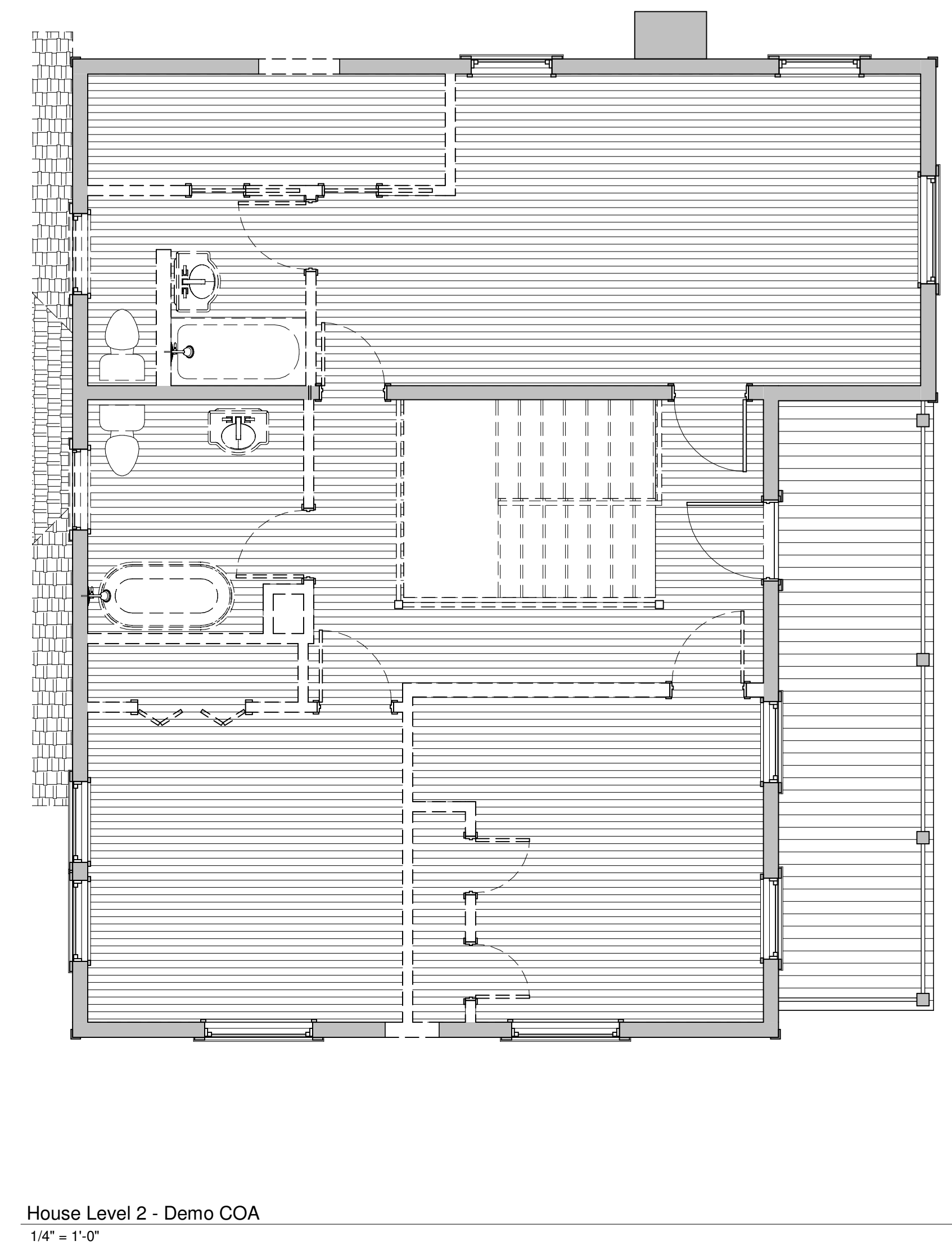
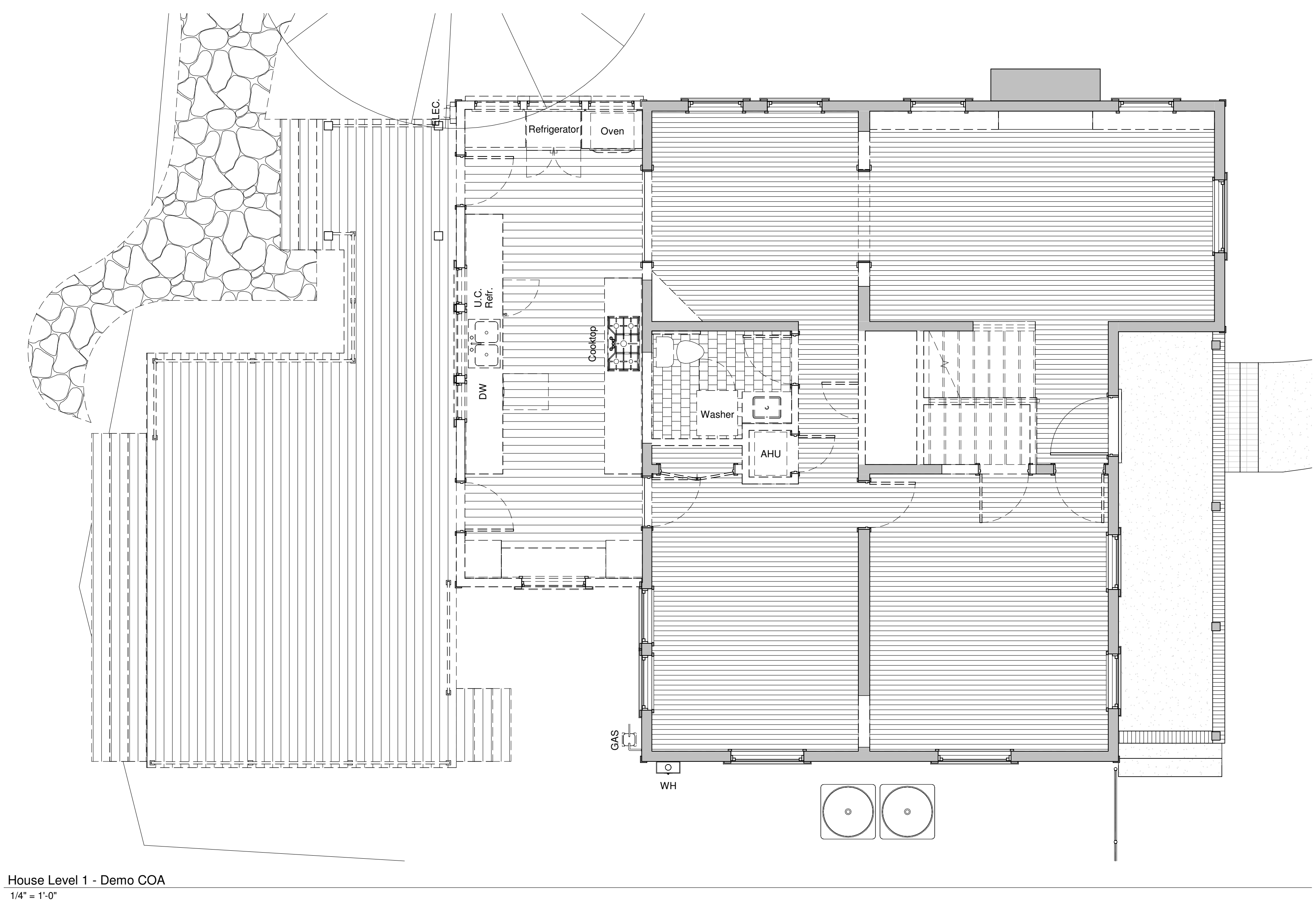
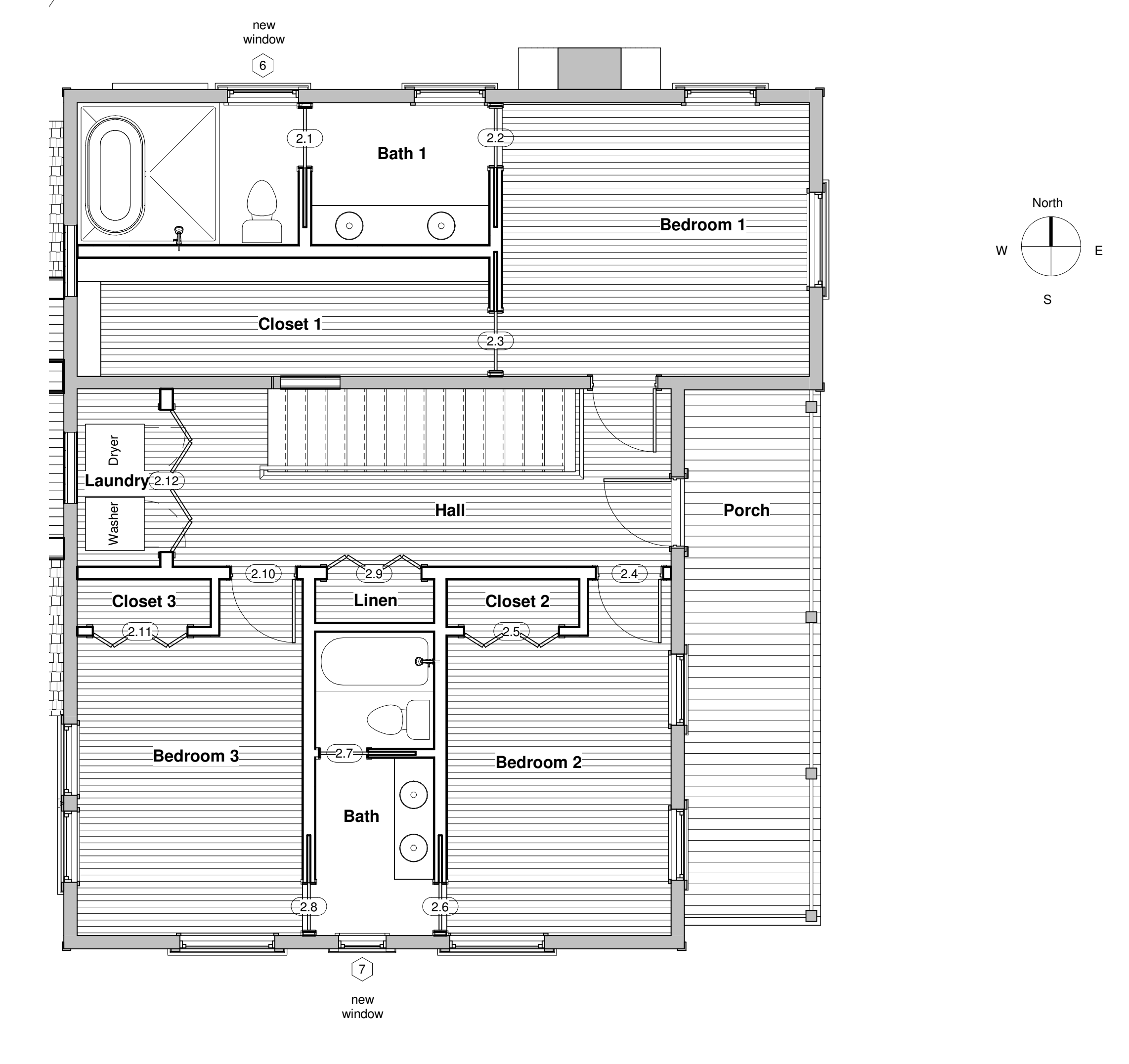
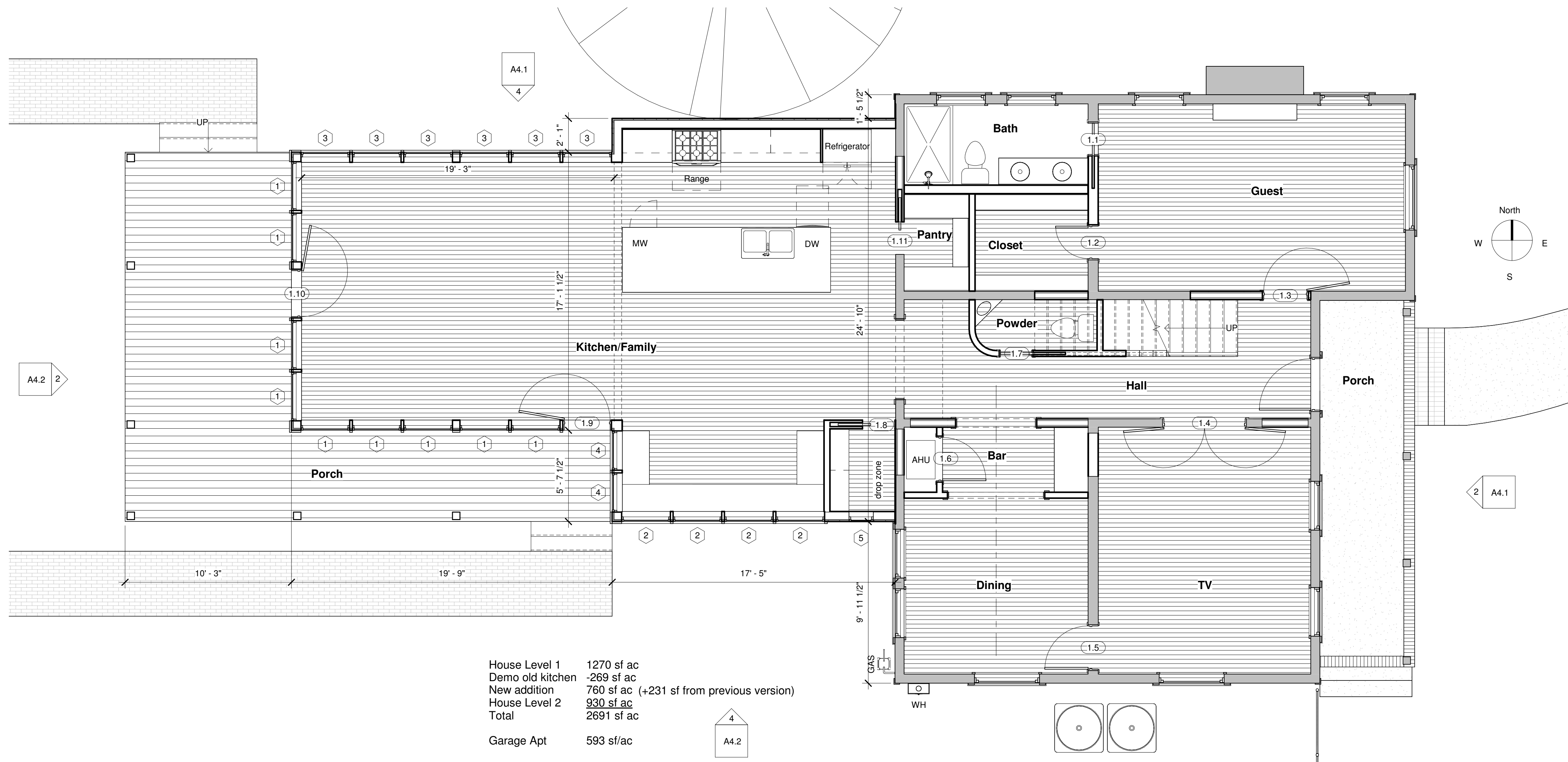
NO.	ISSUE	DATE
1	Schematic Design	10 Mar 2022
2	Design Development	05 Apr 2022
3	COA application	11 Apr 2022

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Site  
A1

Type	Mark	Rough Width	Rough Height	Type	Count	Comments
1	3-0"	6-0"	6-0"	Fixed	9	1 lite, vinyl, tempered glass
2	3-0"	6-0"	6-0"	Fixed	4	1 lite, vinyl, tempered glass
3	3-0"	5-0"	5-0"	Fixed	6	1 lite, vinyl, tempered glass
4	2-5"	6-0"	6-0"	Fixed	2	1 lite, vinyl, tempered glass
5	1-6"	2-0"	2-0"	Fixed	1	1 lite, vinyl, tempered glass
6	3-0"	5-4"	5-4"	Single Hung	1	6/6 Wood clad, to match existing as close as possible
7	2-0"	4-0"	4-0"	Single Hung	1	4/4 Wood clad to match existing as close as possible

Door Number	Nominal Width	Nominal Height	Operation	Description
1.1	2'-0"	6'-8"	Passage	Interior single 2-panel pocket door
1.2	2'-0"	6'-8"	Passage	Interior single 2-panel door
1.3	2'-0"	6'-8"	Privacy	Interior single 2-panel door
1.4	5'-0"	6'-8"	Passage	Interior double 1-lite wood French door with tempered glass
1.5	2'-6"	6'-8"	Passage	Interior single 1-lite wood French door with tempered glass
1.6	2'-6"	6'-8"	Locking	Exterior single flush fiberglass door
1.7	2'-0"	6'-8"	Passage	Interior single 2-panel pocket door
1.8	2'-0"	6'-8"	Passage	Interior single flush frameless pocket door
1.9	2'-10"	7'-11"	Locking	Exterior single 1-lite flush glazed French door with tempered glass
1.10	2'-10"	7'-11"	Locking	Exterior single 1-lite flush glazed French door with tempered glass
1.11	2'-0"	6'-8"	Passage	Interior single flush frameless pocket door
2.1	2'-6"	6'-8"	Passage	Interior single 2-panel pocket door
2.2	2'-6"	6'-8"	Passage	Interior single 2-panel pocket door
2.3	2'-6"	6'-8"	Passage	Interior single 2-panel pocket door
2.4	2'-8"	6'-8"	Privacy	Interior single 2-panel door
2.5	4'-0"	6'-8"	Bi-fold	Interior double 2-panel bi-fold closet door
2.6	2'-0"	6'-8"	Passage	Interior single 2-panel pocket door
2.7	2'-0"	6'-8"	Passage	Interior single 2-panel pocket door
2.8	2'-0"	6'-8"	Passage	Interior single 2-panel pocket door
2.9	4'-0"	6'-8"	Bi-fold	Interior double 2-panel bi-fold closet door
2.10	2'-8"	6'-8"	Privacy	Interior single 2-panel door
2.11	4'-0"	6'-8"	Bi-fold	Interior double 2-panel bi-fold closet door
2.12	6'-0"	6'-8"	Bi-fold	Interior double 2-panel bi-fold closet door



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PROJECT NUMBER 2201

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Plans  
A2





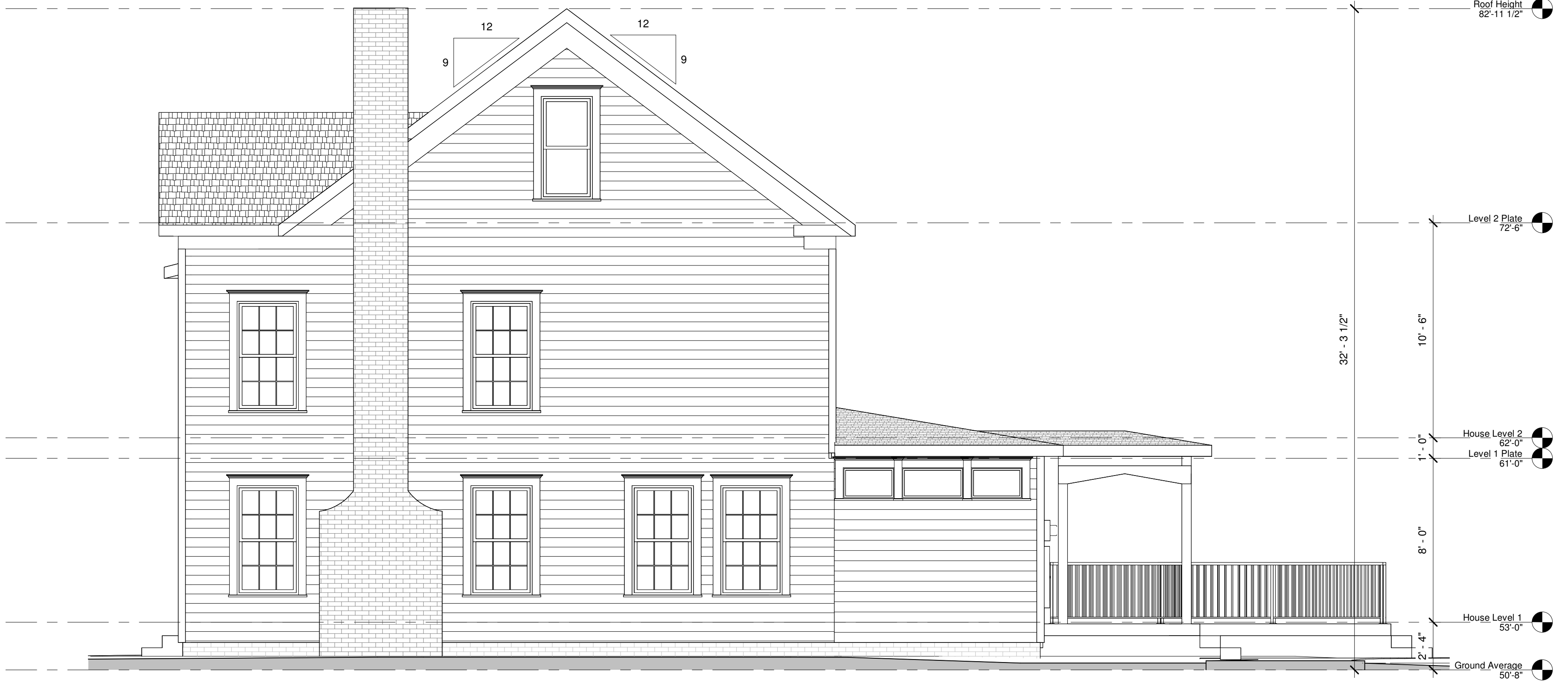
1 House - East Existing  
1/4" = 1'-0"



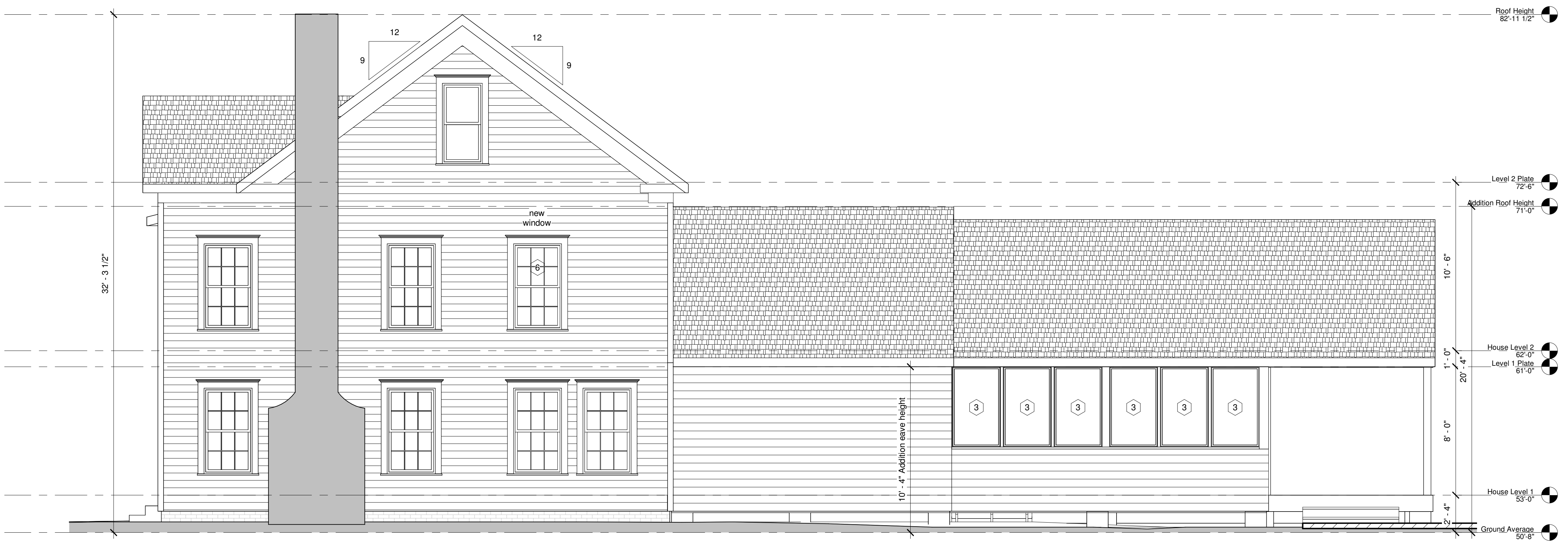
2 House - East  
1/4" = 1'-0"



House - Northeast



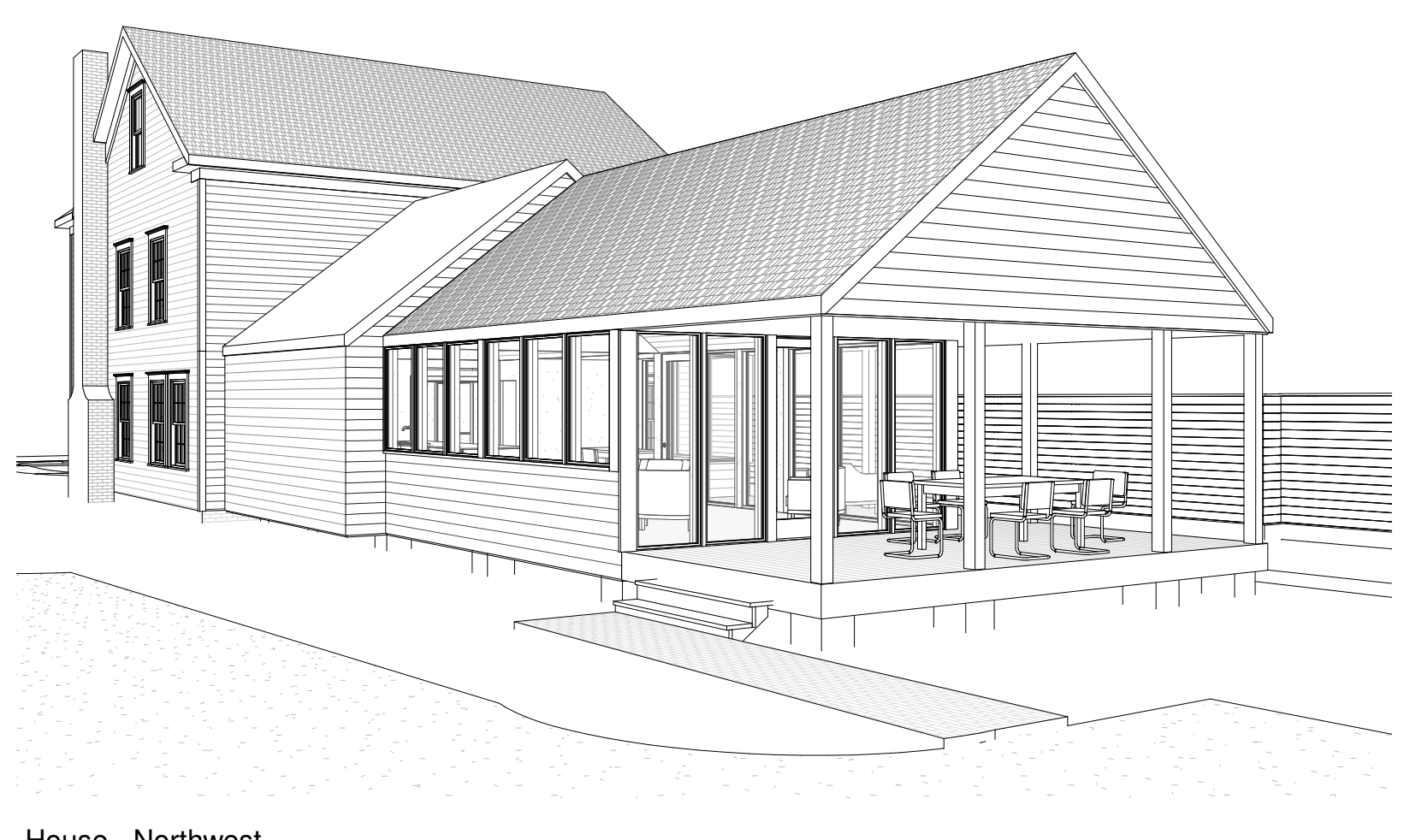
3 House - North Existing  
1/4" = 1'-0"



4 House - North  
1/4" = 1'-0"



House - North



House - Northwest

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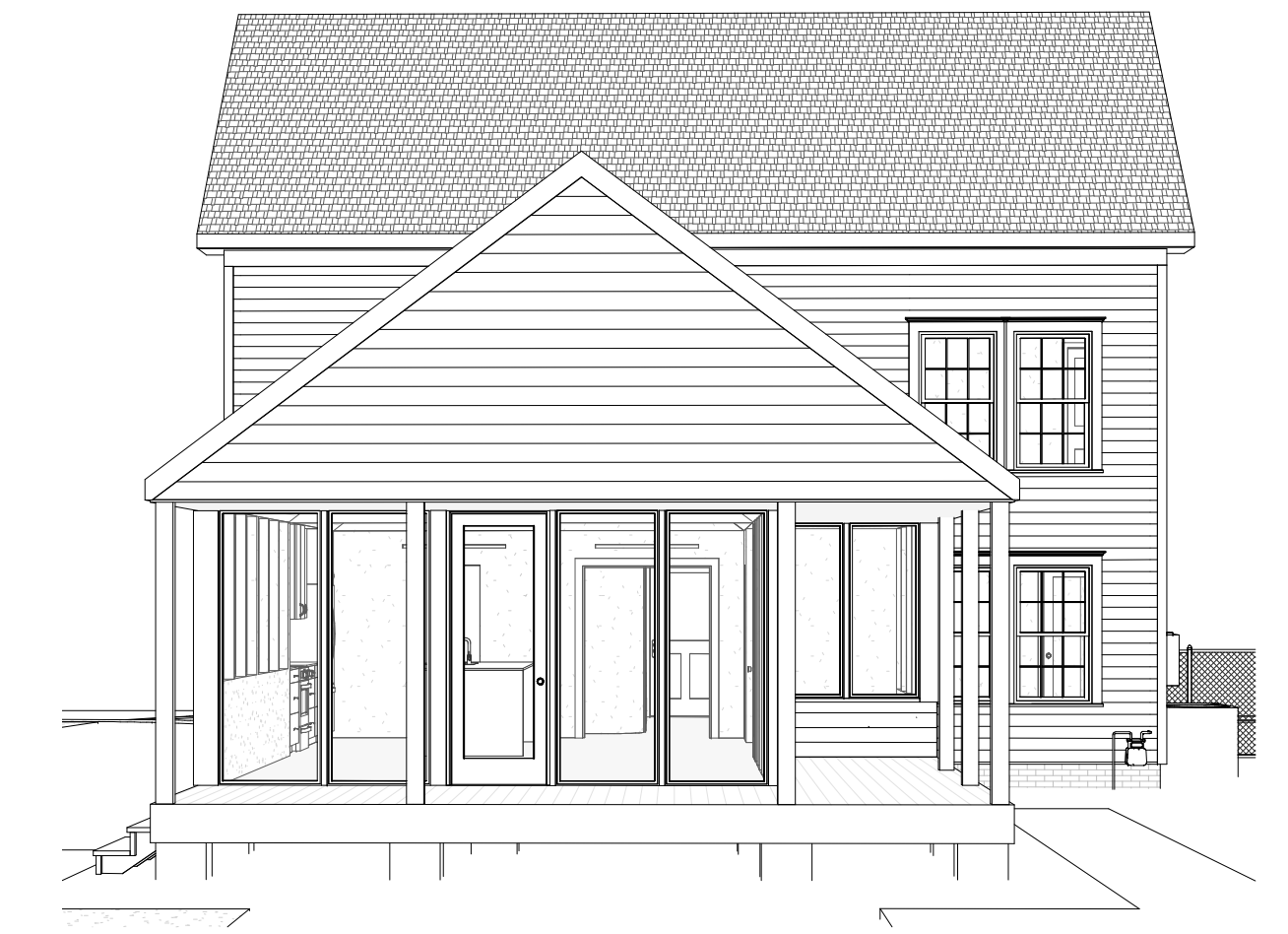
Elevations  
A4.1



1 House - West Existing  
1/4" = 1'-0"



2 House - West  
1/4" = 1'-0"



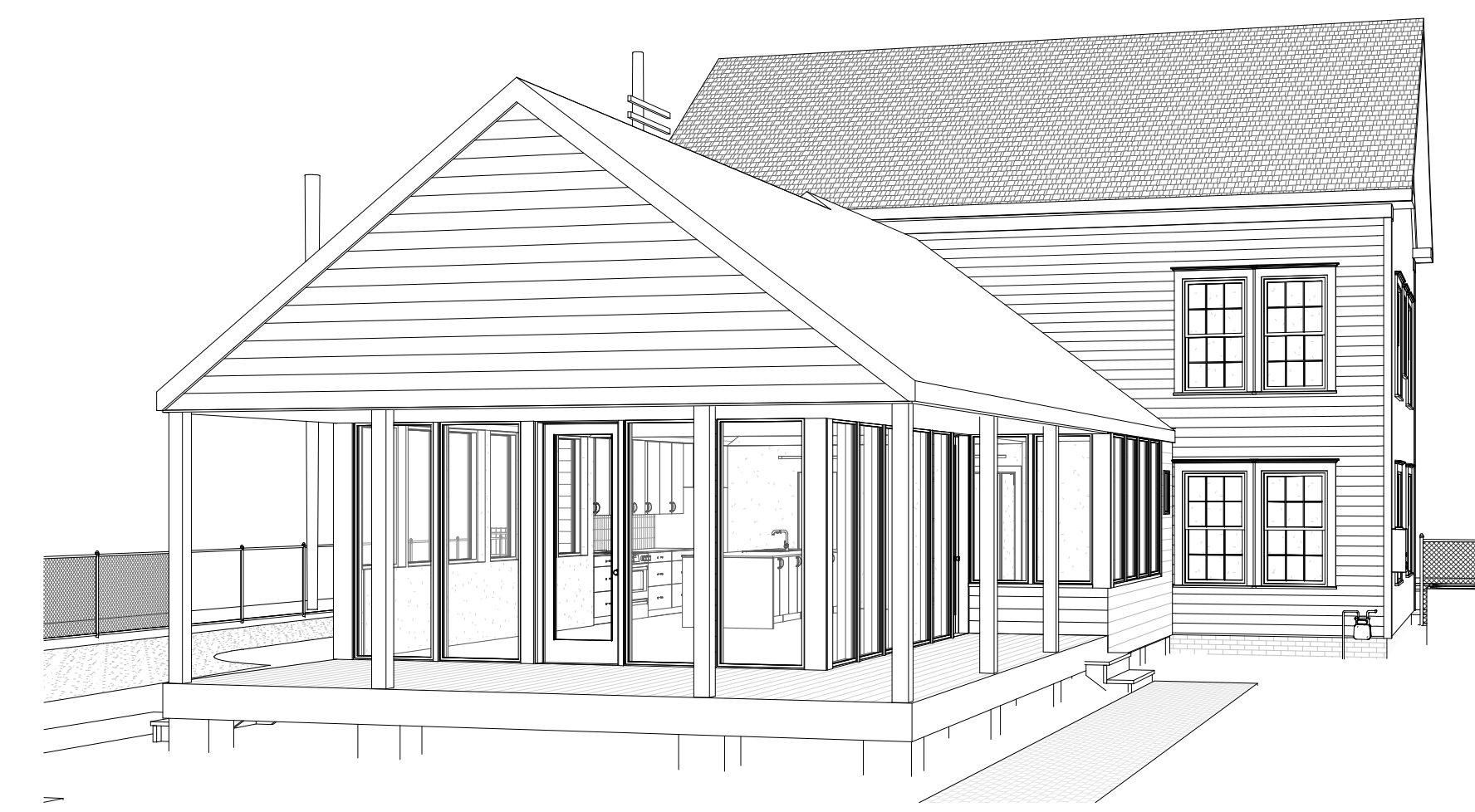
House - West



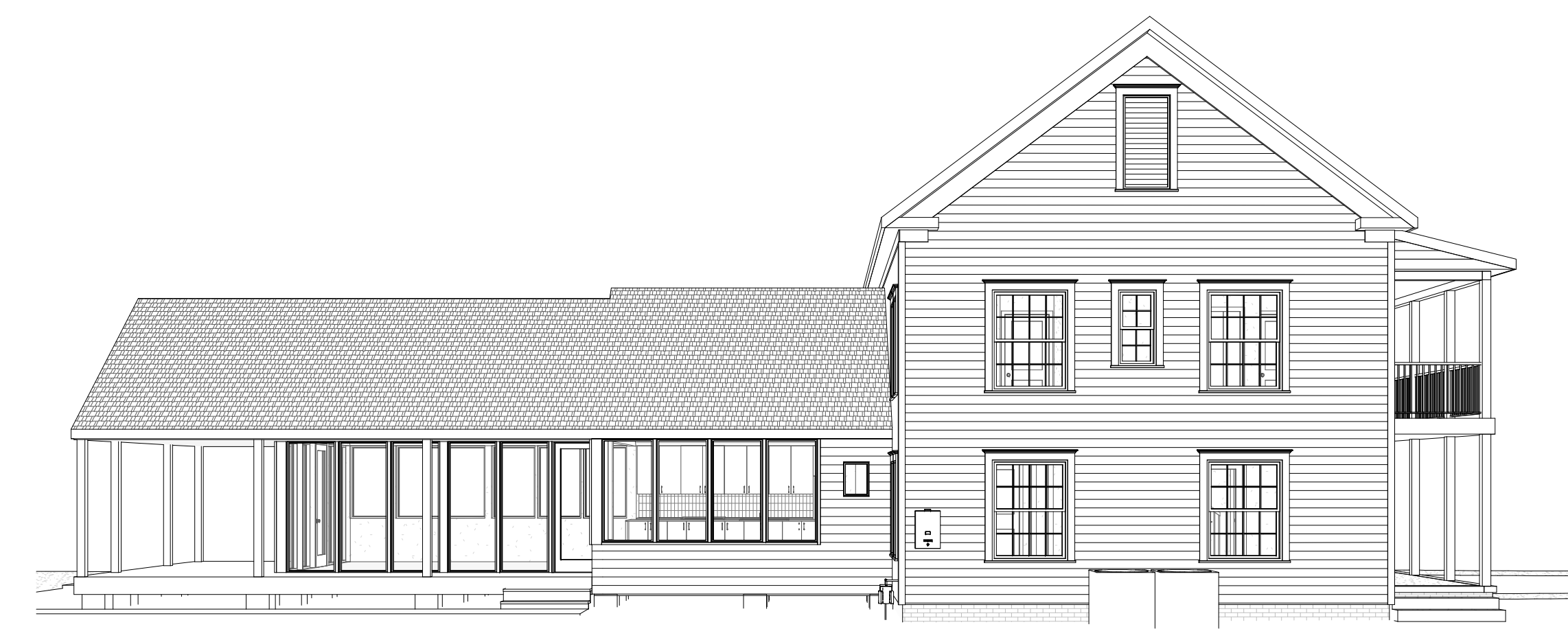
3 House - South Existing  
1/4" = 1'-0"



4 House - South  
1/4" = 1'-0"



House - Southwest



House - South

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Elevations  
A4.2



South



East



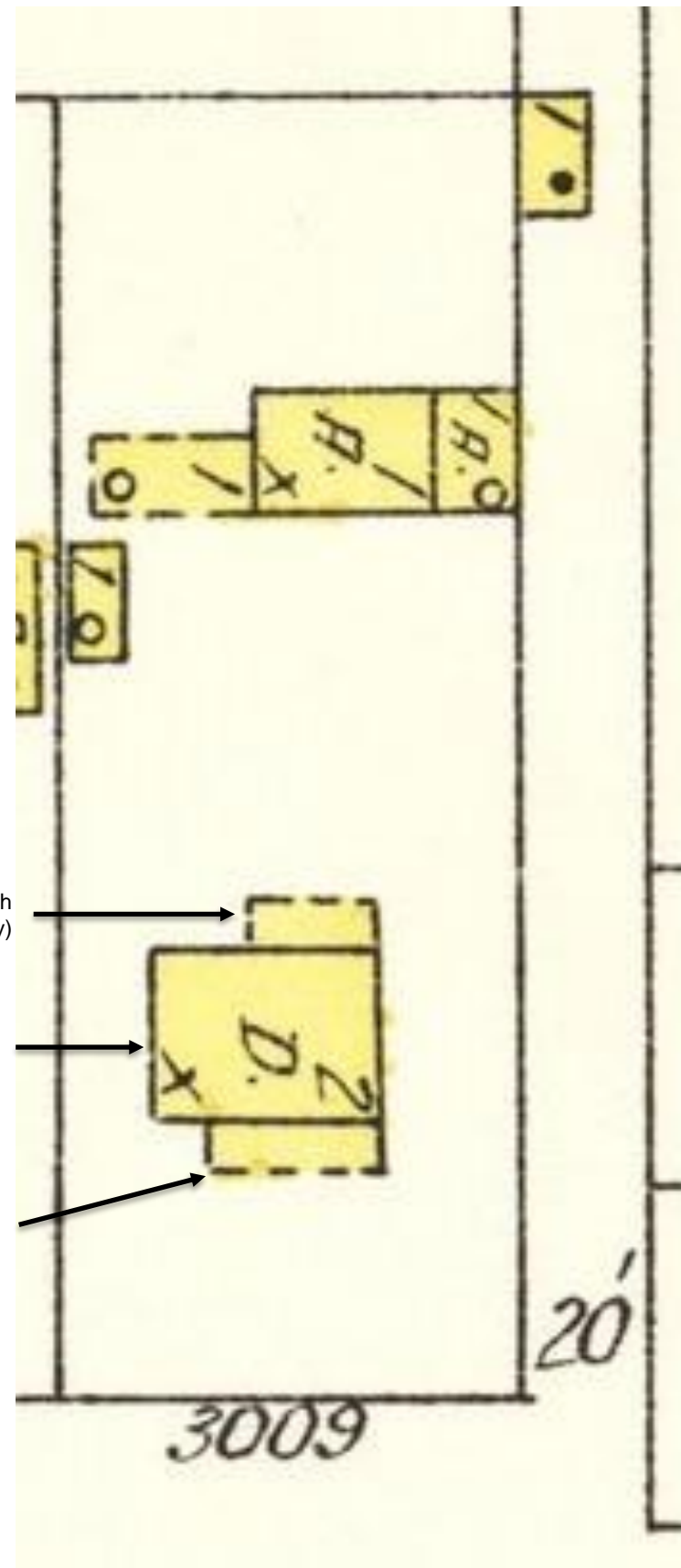
West



North

2911 Julian Street - Photos

- Non-combustible roof
- Composition shingles
- X Wood shingles

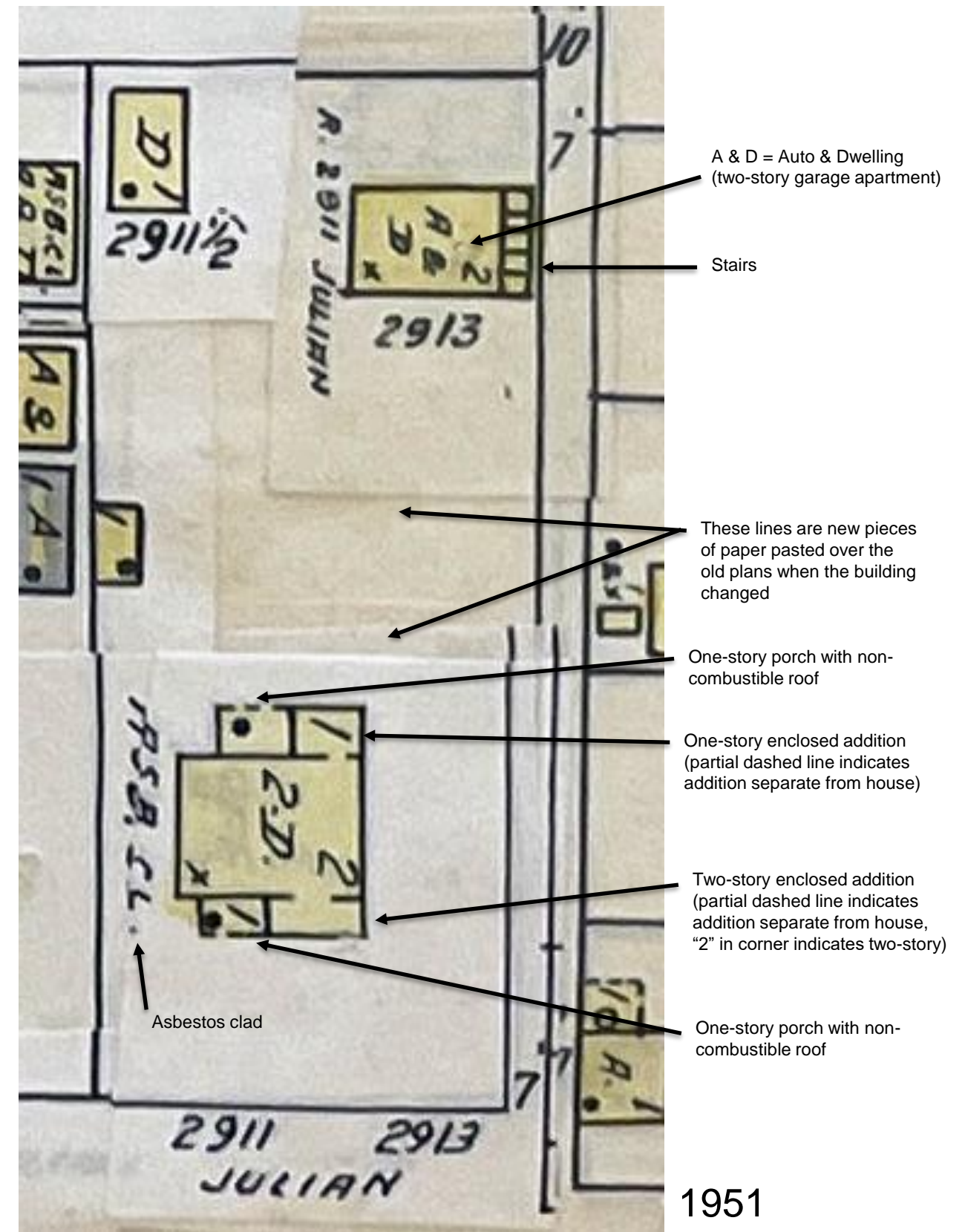


1924

Dashed line indicates porch  
(no number indicates one-story)

Two-story dwelling  
(yellow shading indicates wood frame construction)

Dashed line indicates porch  
(no number indicates one-story)



1951

A & D = Auto & Dwelling  
(two-story garage apartment)

Stairs

These lines are new pieces  
of paper pasted over the  
old plans when the building  
changed

One-story porch with non-  
combustible roof

One-story enclosed addition  
(partial dashed line indicates  
addition separate from house)

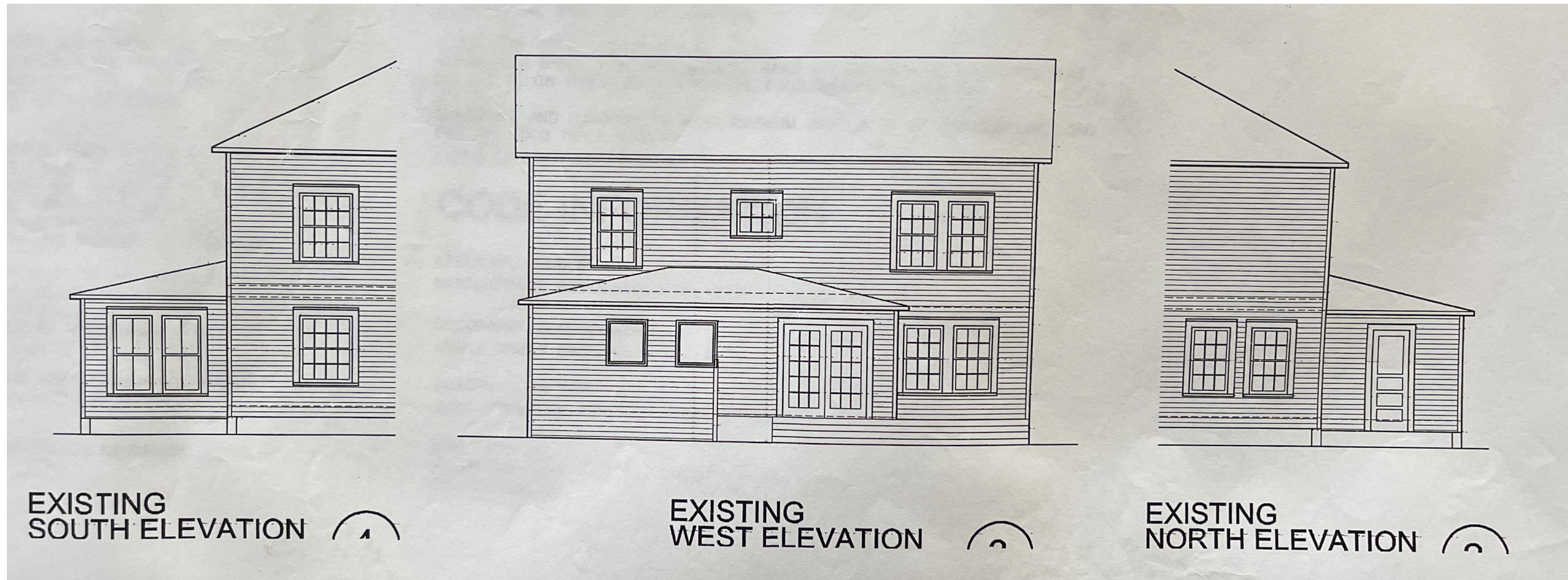
Two-story enclosed addition  
(partial dashed line indicates  
addition separate from house,  
"2" in corner indicates two-story)

One-story porch with non-  
combustible roof

Asbestos clad

2911 Julian Street - Sanborn Map

before



after



2911 Julian Street - 2005 remodel



## **2911 Julian Street addition**

### **Property description, current conditions and any prior alterations or additions**

John Austin Survey Abstract 1, Tract 11

There is currently a two-story house on the property and a detached, two-story garage. According to the Protected Landmark Designation report from 2012, the house is called the Klunkert Farmhouse and was built c. 1875. The garage was built c. 1920. The house and garage are in approximately the same condition as when the report was submitted in 2012.

The house was remodeled extensively in as evidenced by the Sanborn Maps. We believe that the house was originally one-story and was raised at some point prior to the 1924 Sanborn map to become two stories. The first floor has eight-foot ceiling heights, and the second floor has ten-foot-six-inch ceiling heights.

Between the 1921 and the 1951 Sanborn maps the house was remodeled again. The front projected bay was added. The front porch was made two stories. The rear porch was partially enclosed. The current six-over-six windows are likely replacements of the original Victorian windows, which likely had a two-over-two glazing pattern.

The floor plan inside has been changed extensively. According to the Protected Landmark Designation report, the stairs are not original. The front porch is a reconstruction with a non-original concrete floor at the ground level. There is a one-story extension on the rear of the house that was remodeled extensively in 2005. There is likely little to no historic material left on the rear addition.

### **Proposed work; plans to change any exterior features, and/or addition description**

The remodel plan proposes to recreate the central hall-type plan the house probably had when it was built. The current switchback stairs will be replaced with a straight run. The rear, west-facing, one-story addition will be demolished. A new, one-story, seven-hundred-sixty-square-foot addition is going to be built at the rear (west) elevation. It will start one-foot-five-and-one-half-inches from the north elevation and nine-foot-eleven-and-one-half-inches from the south elevation. It will extend thirty-seven-feet-two-inches to the west. There will be a ten-foot-three-inch deep porch at the rear. The total length of the addition including the porch will be forty-seven-feet-five-inches. The pitch of the roof of the addition will be nine-in-twelve, which is the same as the house. It will not have projecting eaves.

There will be a new window to match the existing as close as possible added to the house on the north and south elevations that is indicated on the attached architectural drawings.

The front (east) elevation will not be altered.

### **Current building material conditions and originality of any materials proposed to be repaired or replaced**

The house is in an average state of repair. Much of the wood siding was replaced with cementitious siding during the 2005 remodel. The current wood windows are probably replacements of the original Victorian windows. They have colonial-style detailing and six-over-six glazing pattern. They will remain in place on the east, south, and north elevations.

**Proposed new materials description; attach specification sheets if necessary**

The addition will be clad in smooth, cementitious siding with a five-inch reveal. There will be 2x treated wood for trim around and between the windows. The roof fascia will be a single piece of 2x treated wood. The new windows will be vinyl with single lites. The new doors will be single, fiberglass French doors with single lites. The roof will have composition shingles. The two new windows in the old house will be single hung, wood clad with a pattern to match the existing windows as closely as possible.

The foundation of the addition will have cast-in-place concrete pier caps. The new porch will have square wood columns with treated 2x deckboards. The ceiling of the porch will have two-by-six v-groove boards.