

CERTIFICATE OF APPROPRIATENESS

Application Date: December 20, 2021

Applicant: Laura Carrera, architect for Josely Yuko, owner

Property: 4026 Norhill Blvd, LT 6, Block 125, North Norhill. The property includes a 1,150 SF residence on a 5,000 SF lot.

Significance: This is a bungalow duplex, constructed circa 1929, located in the Norhill Historic District.

Proposal: Alteration – Addition.

The existing site consists of a four plex, a multi-family property made up of four individual units with their own kitchen and bathroom. There are two units at the main home and two at the garage structure. The existing garage has a Demolition application HP2022_0005 and is going Infront of HAHC as Item A5.

Proposed Work:

This project entails the conversion from a multi-unit residence to a single-family residence. The garage structure has experienced years of neglect with structural concerns and thus, it is being reconstructed.

The two story garage will have a ridge height of 25'- 6 3/4" `

Materials & Windows:

The proposed one-story addition and garage structure will consist of wood siding.

Public Comment: No public comment received.

Civic Association: Letter of Support Received.

Recommendation: Approval

HAHC Action: -

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

[X] [] [] (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;

[X] [] [] (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;

[X] [] [] (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;

[X] [] [] (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.



PROPERTY LOCATION

Norhill Historic District



INVENTORY PHOTO



Figure 1- Main House



Figure 2- Garage_west elevation

CONTEXT AREA



4035 Norhill Blvd – Contributing – 1939 (across street)



4022 Norhill Blvd – Contributing – 1929 (neighbor)



4028 Norhill Blvd – Contributing – (neighbor)

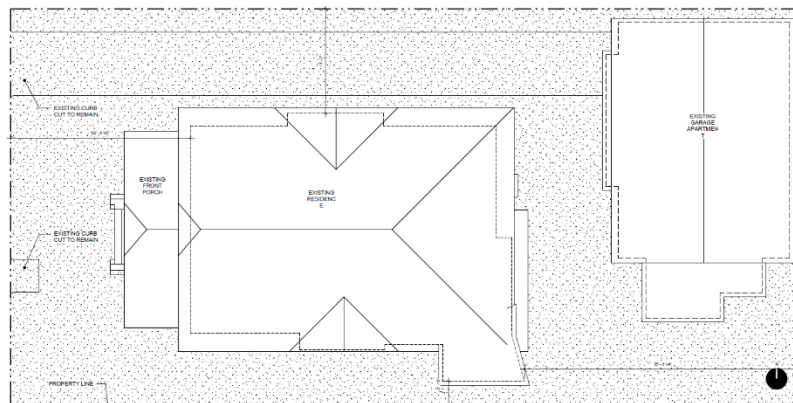
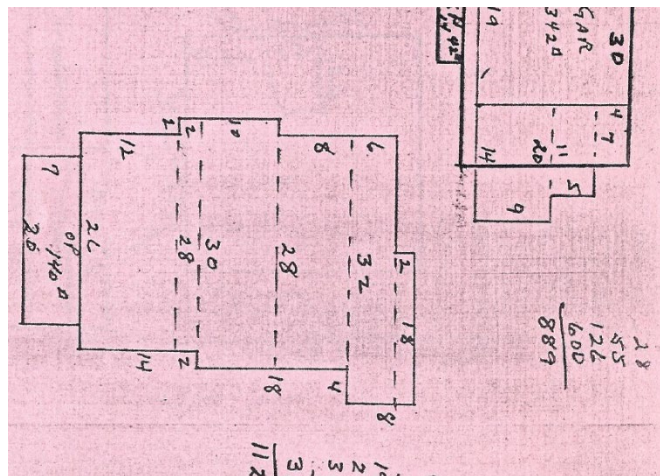


4031 Norhill Blvd – Contributing – 1930 (across street)



4027 Norhill Blvd – Contributing – 1938 (across street)

SANBORN AND TAX RECORDS



EXISTING PHOTOS



SOUTH WEST ELEVATION - GARAGE STRUCTURE

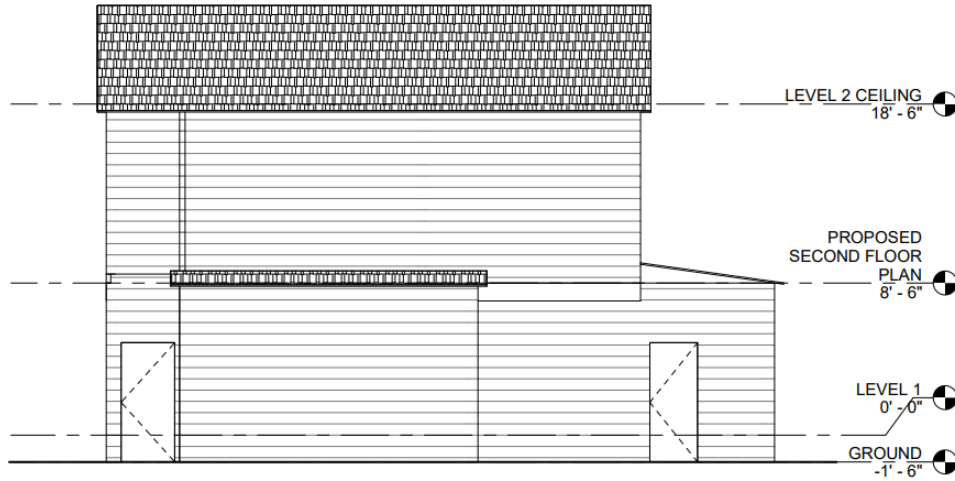


SOUTH EAST ELEVATION - GARAGE STRUCTURE



GARAGE STRUCTURE AS SEEN FROM STREET

WEST ELEVATION – FRONT FACING NORHILL BOULEVARD
EXISTING/ PROPOSED TO BE DEMOLISHED HP2022_0005

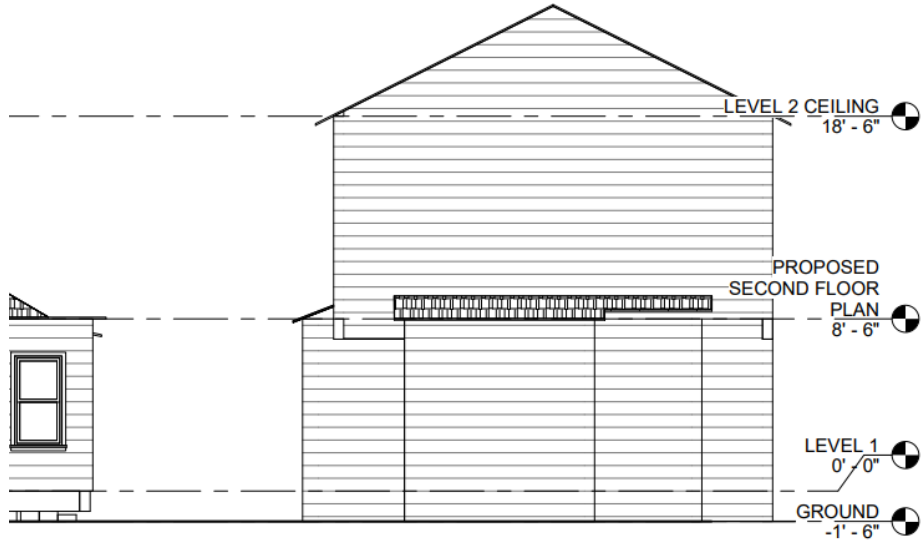


PROPOSED

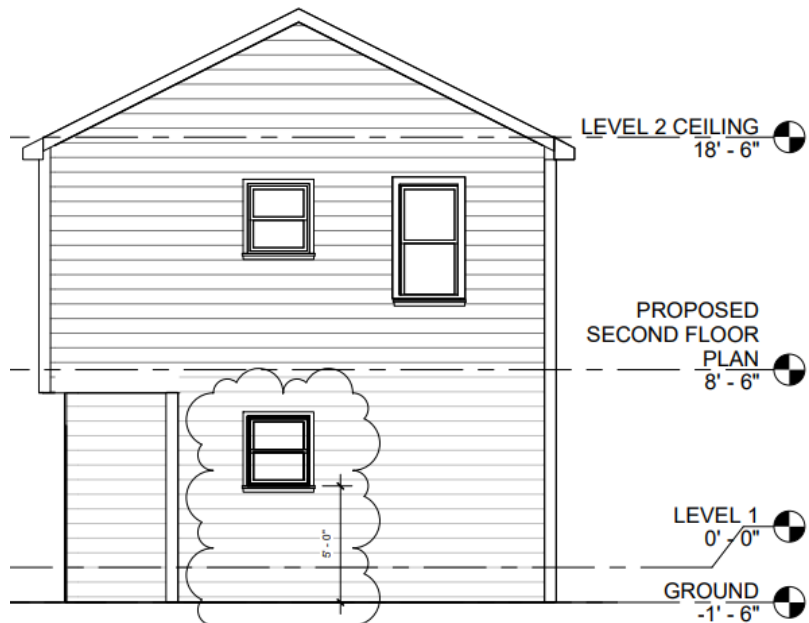


SOUTH SIDE ELEVATION

EXISTING/ PROPOSED TO BE DEMOLISHED HP2022_0005

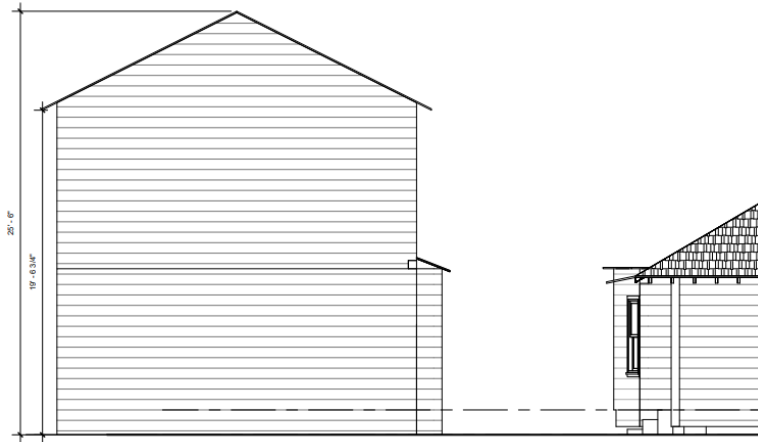


PROPOSED



NORTH SIDE ELEVATION

EXISTING/ PROPOSED TO BE DEMOLISHED HP2022_0005

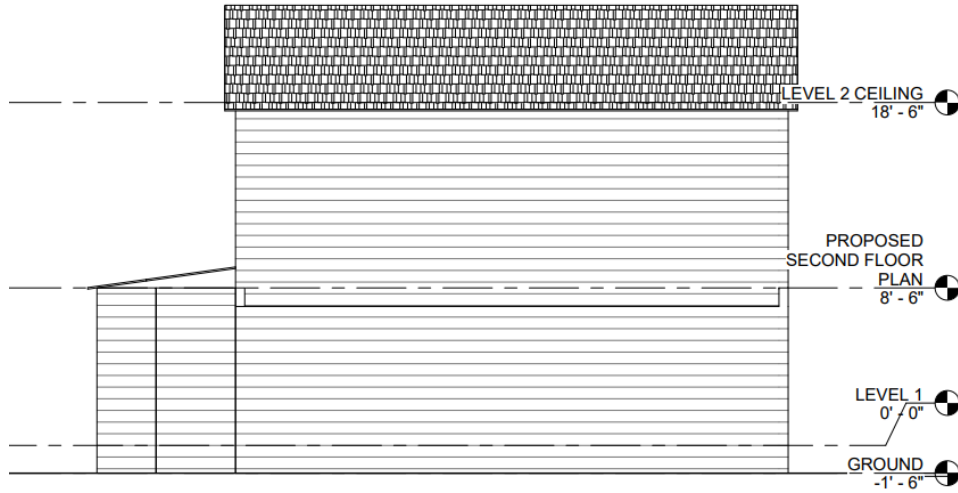


PROPOSED

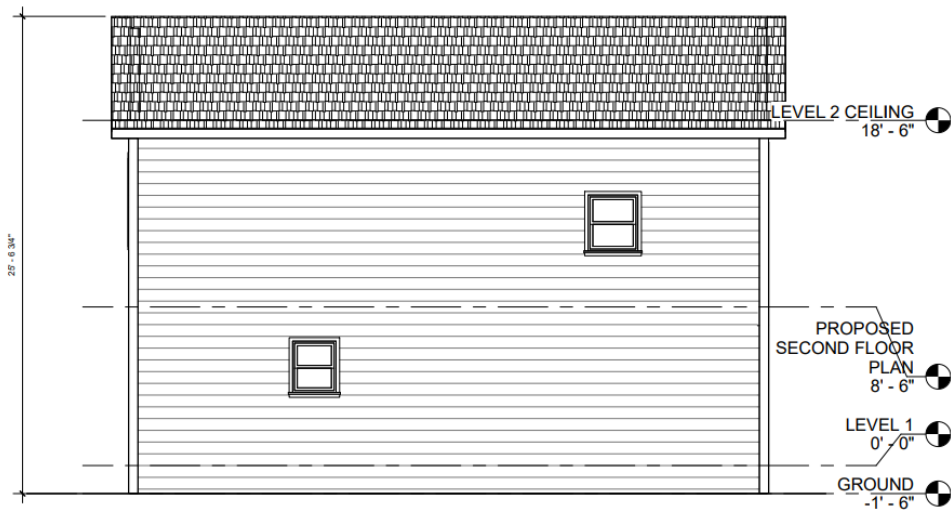


EAST (REAR) ELEVATION

EXISTING/ PROPOSED TO BE DEMOLISHED HP2022_0005

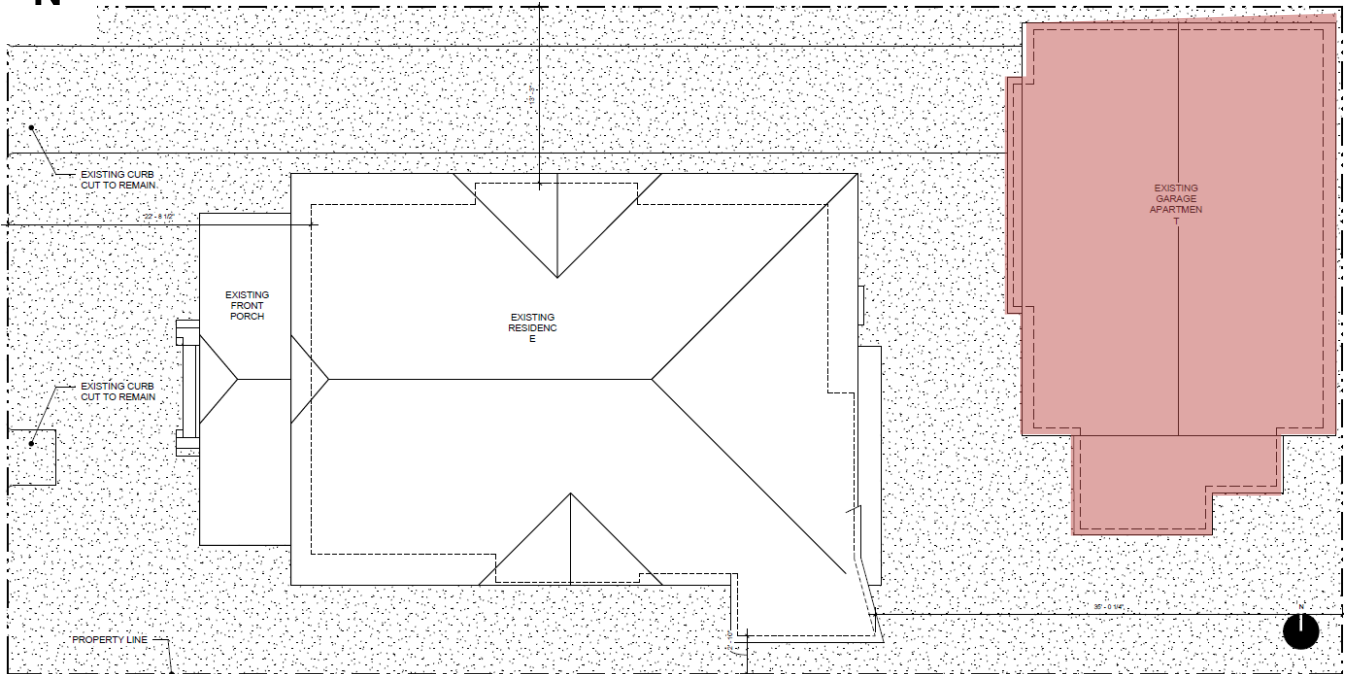


PROPOSED

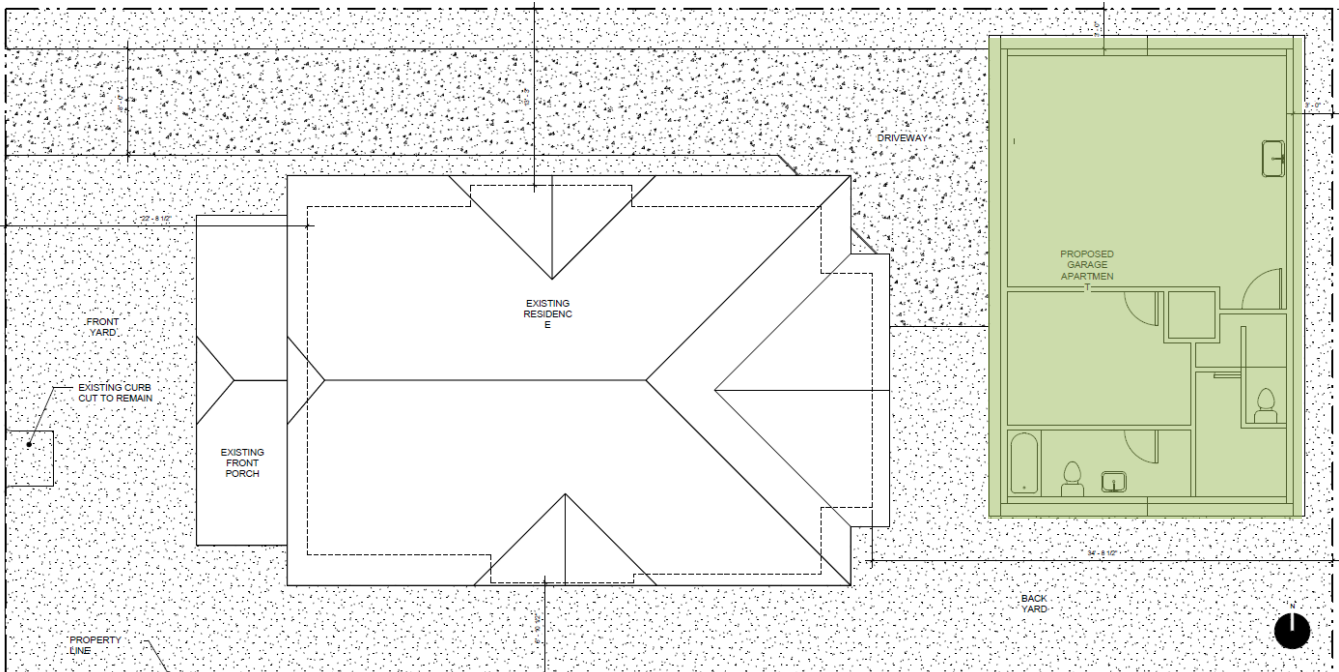




**SITE PLAN
EXISTING**

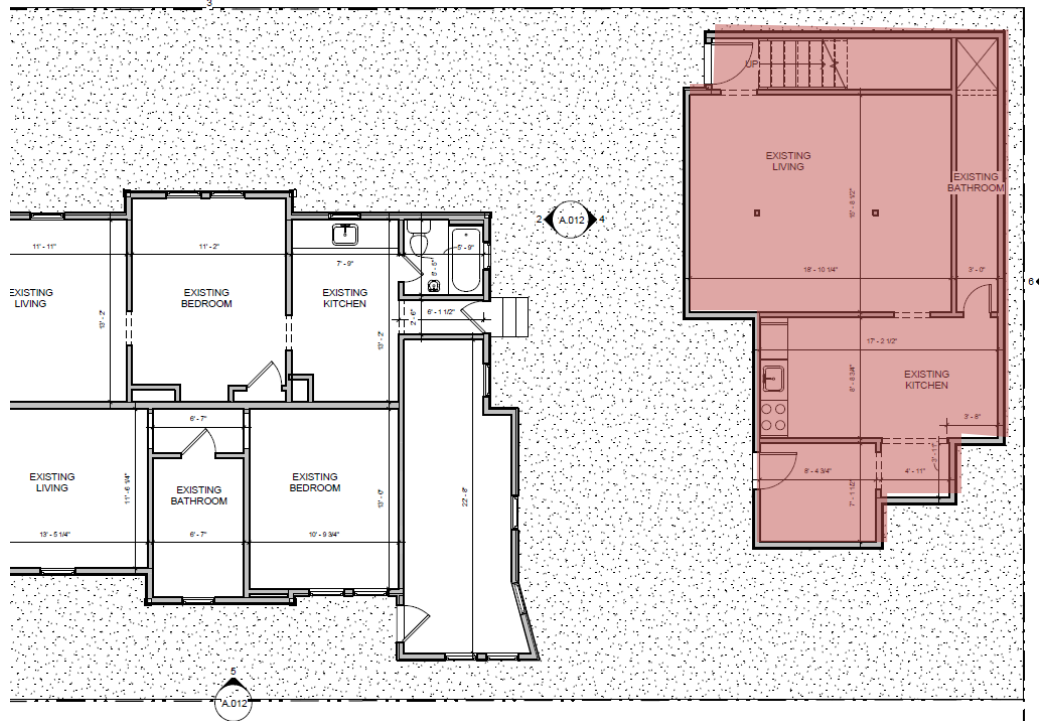


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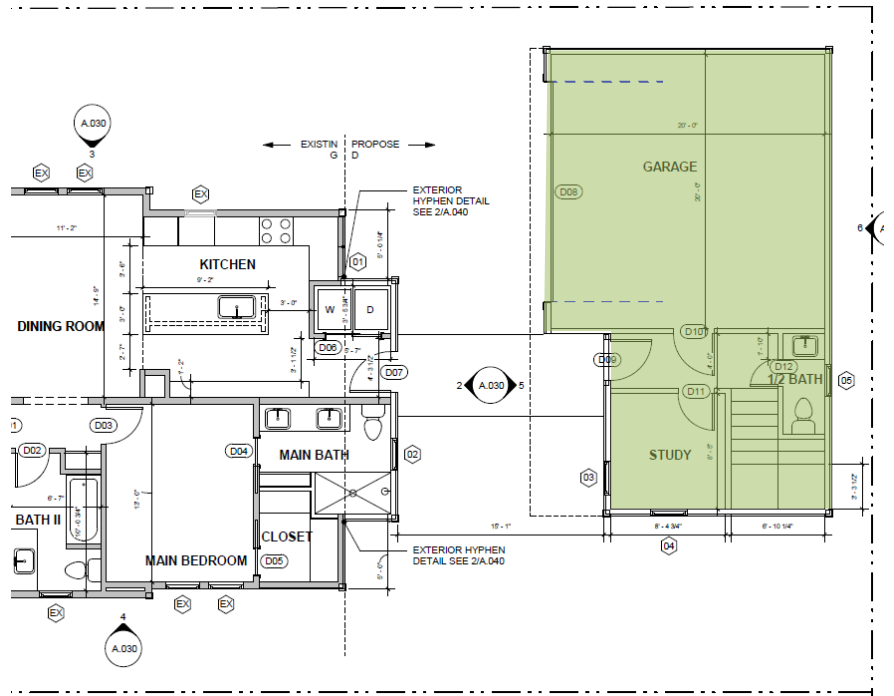




FIRST FLOOR PLAN EXISTING



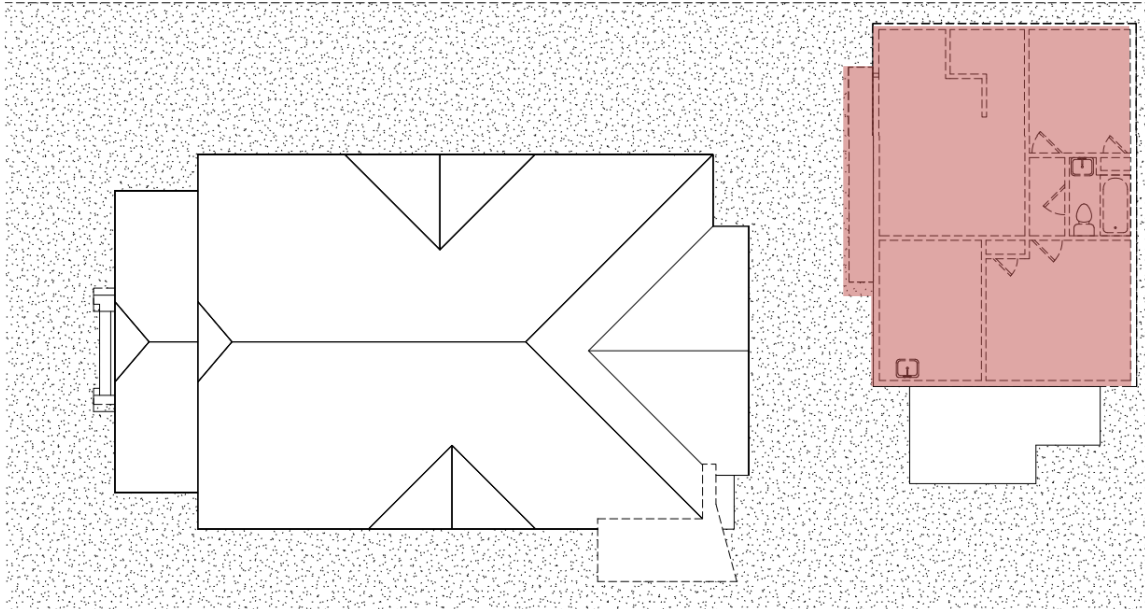
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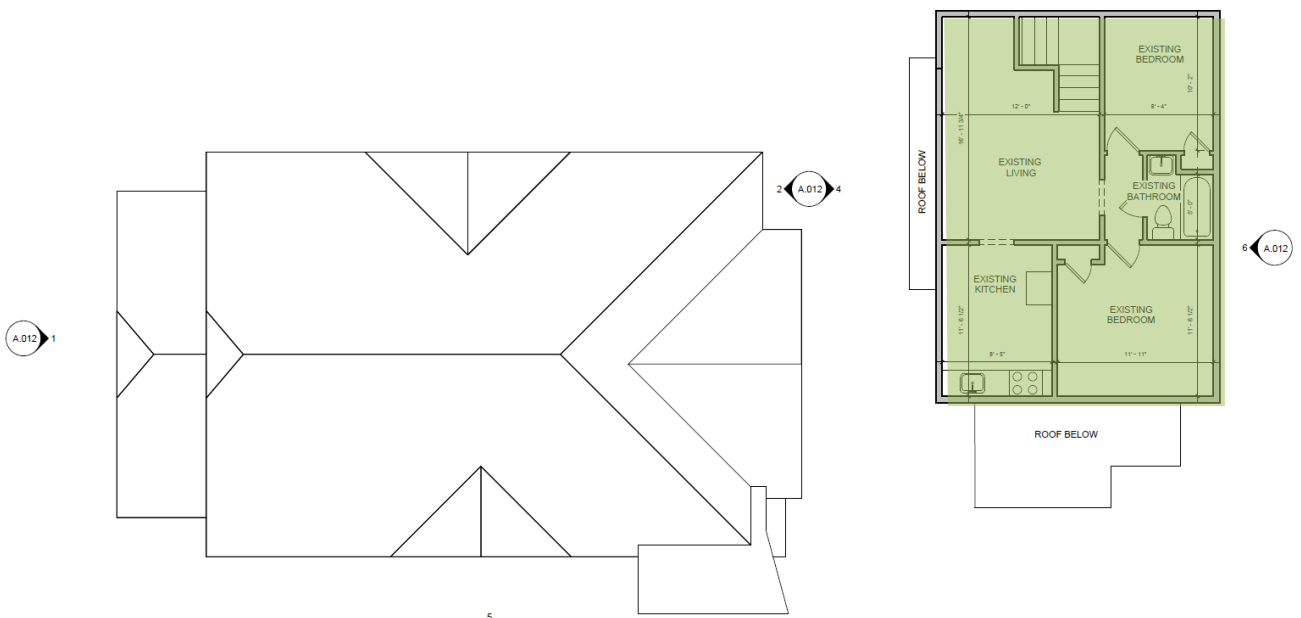


SECOND FLOOR PLAN

EXISTING



PROPOSED



WINDOW / DOOR SCHEDULE

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	COMMENTS
01	2' - 5"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW
02	2' - 4"	2' - 9"	NEW DOUBLE HUNG WOOD WINDOW
03	2' - 6"	4' - 9"	NEW DOUBLE HUNG WOOD WINDOW
04	2' - 8"	3' - 0"	NEW DOUBLE HUNG WOOD WINDOW
05	2' - 4"	2' - 9"	NEW DOUBLE HUNG WOOD WINDOW
06	2' - 8"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW
07	2' - 8"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW
08	2' - 8"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW - EGRESS WINDOW SEE NOTE 1
09	2' - 8"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW
10	2' - 8"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW - EGRESS WINDOW SEE NOTE 1
11	2' - 4"	2' - 9"	NEW DOUBLE HUNG WOOD WINDOW
12	2' - 8"	3' - 0"	NEW DOUBLE HUNG WOOD WINDOW
13	2' - 8"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW
14	2' - 8"	3' - 0"	NEW DOUBLE HUNG WOOD WINDOW
15	2' - 8"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW
16	2' - 8"	5' - 0"	NEW DOUBLE HUNG WOOD WINDOW
EX	2' - 6"	4' - 9"	EXISTING TO REMAIN
EX	2' - 6"	4' - 9"	EXISTING TO REMAIN
EX	2' - 6"	4' - 9"	EXISTING TO REMAIN
EX	2' - 6"	4' - 9"	EXISTING TO REMAIN
EX	2' - 4"	2' - 9"	EXISTING TO REMAIN
EX	2' - 6"	4' - 9"	EXISTING TO REMAIN
EX	2' - 6"	4' - 9"	EXISTING TO REMAIN
EX	2' - 4"	2' - 9"	EXISTING TO REMAIN
EX	2' - 6"	4' - 9"	EXISTING TO REMAIN
EX	2' - 6"	4' - 9"	EXISTING TO REMAIN

DOOR SCHEDULE			
MARK	WIDT H	HEIGHT	COMMENTS
D01	2' - 8"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D02	2' - 6"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D03	2' - 8"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D04	2' - 0"	6' - 8"	NEW POCKET DOOR - SOLID WOOD SHAKER DOOR PANEL
D05	2' - 0"	6' - 8"	NEW POCKET DOOR - SOLID WOOD SHAKER DOOR PANEL
D06	4' - 0"	6' - 8"	NEW BYPASS DOOR - 2 SOLID WOOD SHAKER DOOR PANEL
D07	3' - 0"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D08	16' - 0"	7' - 0"	NEW GARAGE DOOR - FLUSH PANEL
D09	3' - 0"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D10	3' - 0"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D11	2' - 8"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D12	2' - 0"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D13	3' - 0"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D14	2' - 6"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
D15	2' - 6"	6' - 8"	NEW SWING DOOR - SOLID WOOD SHAKER DOOR PANEL
EX1	2' - 8"	6' - 8"	EXISTING TO REMAIN

NOTE 1:

R310.1 2012 IRC Windows (Escape and Rescue Windows)
 Plans shall clearly indicate that all escape or rescue windows from sleeping rooms have a minimum net clear opening of 5.7 square feet. The minimum net clear opening width dimension shall be not less than 20 inches, and the minimum net clear height dimension shall not be less than 24 inches. Grade floor openings shall have a minimum net clear opening of 5 square feet. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

ENERGY CONSERVATION COMPLIANCE
 TABLE R402.1.2 OF THE 2015 IECC REQUIRES INSULATION VALUES FOR CLIMATE ZONE 2:
 MAXIMUM FENESTRATION U-FACTOR: 0.40 (0.65 FOR SKYLIGHTS*)
 MAXIMUM GLAZED FENESTRATION SHGC: 0.25
 MINIMUM CEILING R-VALUE: 38
 MINIMUM WALL R-VALUE: 13
 MINIMUM FLOOR R-VALUE: 13

ATTACHMENT A

From: NNA DCC <norhil deedrestrictions@gmail.com>

Sent: Wednesday, January 19, 2022 9:16 PM

To: Laura Carrera

Cc: Chris Yuko; president@norhill.org; joseyyuko@gmail.com; Michael Clennan

Subject: Re: 4026 Norhill Ave - Revisions Per Meeting, approved

Laura,

The NNA board reviewed your proposal again at the Jan 11 board meeting and unanimously voted to approve the revised drawings submitted on Jan 11 for a house remodel to maintain basically the same footprint and for a garage apartment rebuild. The board is very appreciative of the well-designed modifications proposed for this property and thanks you and the Yukos for making this contribution to Norhill.

Brian Wilson
NNA VP of Deed Restrictions
(M) 713-598-3397

APPLICANT'S MATERIAL



POSSIBLE
REAR
ADDITION

EAST ELEVATION - BUNGALOW



POSSIBLE
REAR
ADDITION

SOUTH ELEVATION - BUNGALOW



WEST ELEVATION - GARAGE STRUCTURE



SOUTH WEST ELEVATION - GARAGE STRUCTURE



SOUTH EAST ELEVATION - GARAGE STRUCTURE



GARAGE STRUCTURE AS SEEN FROM STREET



Existing First Floor at Duplex Garage Structure sits on plywood floors



Existing Structural Damage at Garage Structure



Existing First Floor Kitchen at Garage Structure