

CERTIFICATE OF APPROPRIATENESS

Applicant: Daniel S. Turner, architect for Travis Player, owner

Property: 1023 Oxford Street, Lot 5, Block 221, Houston Heights Subdivision. The property includes a historic 1,880 square foot two-story wood frame single family residence and detached garage situated on a 6,650 square foot interior lot.

Significance: Contributing bungalow residence, constructed circa 1920, located in the Houston Heights Historic District South.

Proposal: Alteration –Addition

The rear / alley facade will feature a new 282 SF addition at the rear of the original home.

- The home consists of a mixture of pier and beam with slab on grade foundation.
- The single-story addition contains the primary bedroom, primary dressing room, primary restroom, and mud room.
- The addition will be clad in smooth siding and a metal roof.
- The existing structure will receive a new sliding door assembly in the living room area.
- All four original corners of the home are to remain intact.
- Replace door on north elevation with full lite panel inset in historic frame.

See enclosed detailed project description and drawings for further details

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: **Approval with conditions: that a third window is added to each dormer and all three windows on each dormer be trimmed together.**

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | S - satisfies | D - does not satisfy | NA - not applicable |
|-------------------------------------|--------------------------|--------------------------|----------------------|---|----------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (1) | The proposed activity must retain and preserve the historical character of the property; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (2) | The proposed activity must contribute to the continued availability of the property for a contemporary use; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (3) | The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (4) | The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (5) | The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (6) | New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (7) | The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (8) | Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (9) | The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (10) | The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | | |
| | | | (11) | The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. | |

HEIGHTS DESIGN GUIDELINES

- | | | | | | |
|-------------------------------------|--------------------------|--------------------------|--|---|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines. | |
|-------------------------------------|--------------------------|--------------------------|--|---|--|

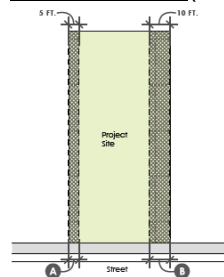
HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600 sq ft
 Proposed Lot Coverage: 2,019 sq ft
 Proposed Percentage: 31%

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (1): 5' (North)
 Proposed side setback (2): 10' (South)
 Cumulative side setback: 15'

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600 sq ft
 Allowed FAR 0.44 is 2,904 SF
 Proposed FAR: 0.29 (1,928 sq ft)

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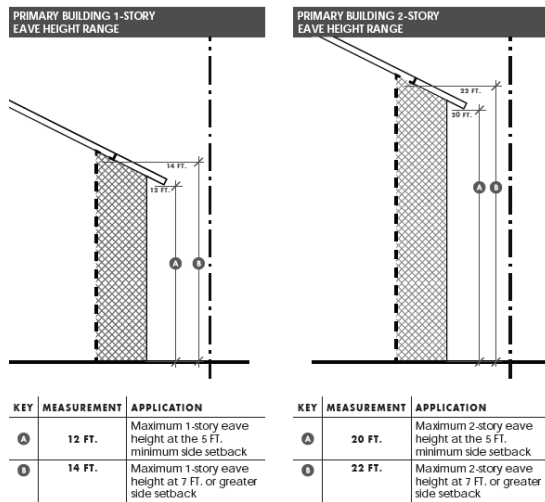
Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

48'-10" with an inset that is 2' deep and 6' wide

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Eave Height (Addition and New Construction)



Proposed eave height: 10'-6 1/2"

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-
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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 1'-8 1/2"
Existing first floor plate height: 11'



PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT SOUTH



1023 Oxford

Building Classification

- Contributing
- Non-Contributing
- Park



INVENTORY PHOTO



CURRENT PHOTO



CONTEXT AREA



Figure 1- 1019 Oxford Street, next door neighbor



Figure 2_1035 Oxford Street, next door neighbor

EAST ELEVATION – FRONT FACING OXFORD STREET

EXISTING



02 EXISTING EAST (OXFORD STREET) ELEVATION
1/4" = 1'-0"

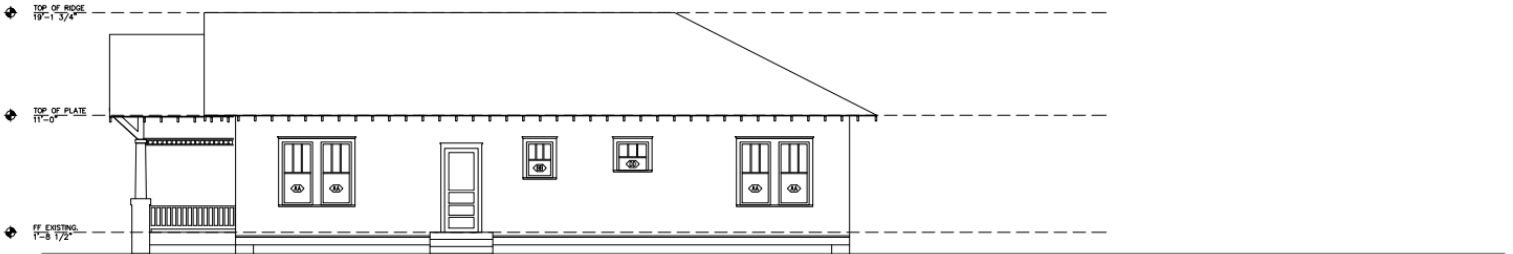
PROPOSED



01 PROPOSED EAST (OXFORD STREET) ELEVATION
1/4" = 1'-0"

NORTH SIDE ELEVATION

EXISTING



02 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

PROPOSED



01 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

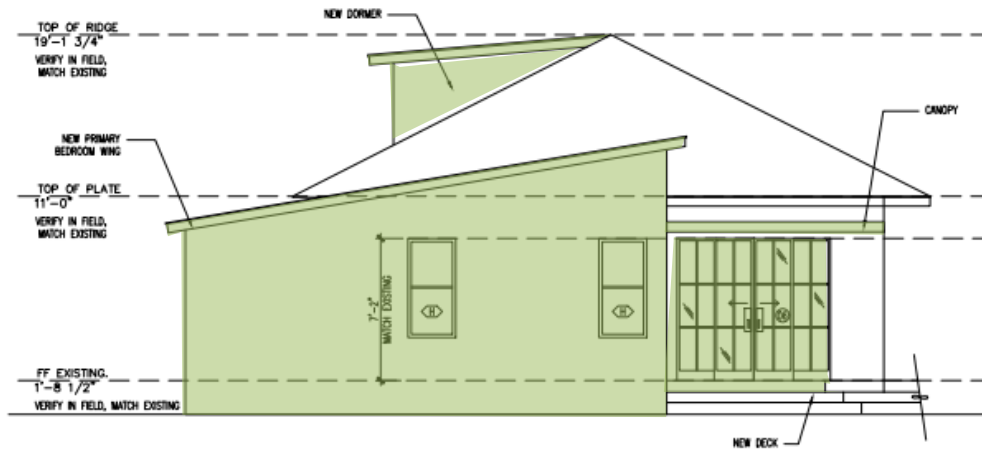
WEST (REAR) ELEVATION

EXISTING



04 EXISTING WEST ELEVATION
1/4" = 1'-0"

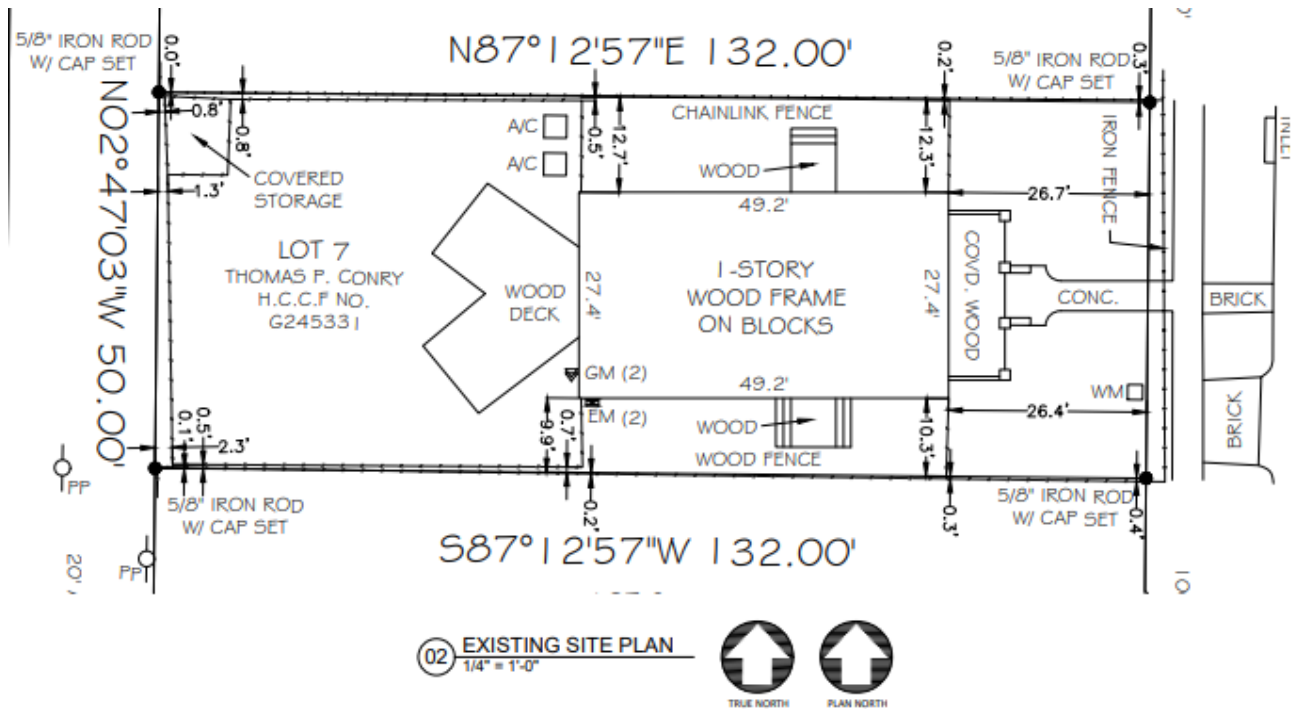
PROPOSED



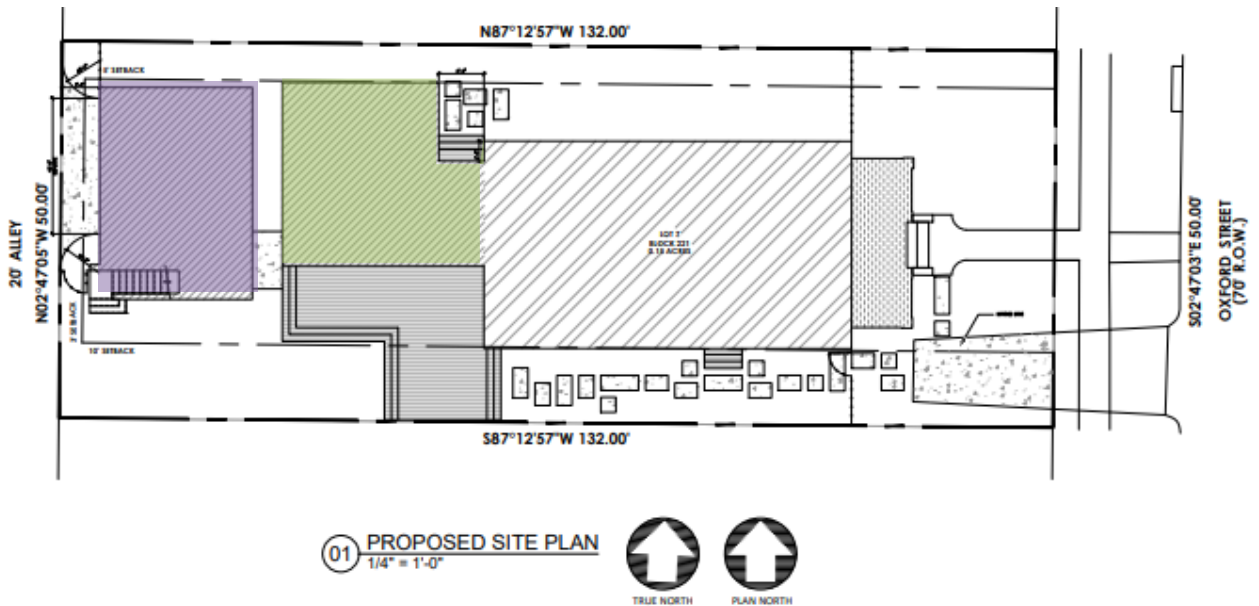
03 PROPOSED WEST ELEVATION
1/4" = 1'-0"

SITE PLAN

EXISTING

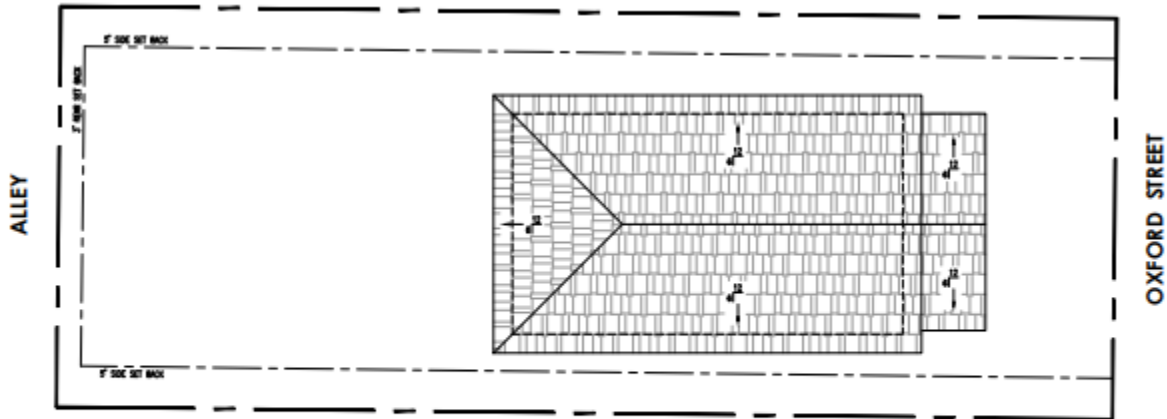


PROPOSED



ROOF PLAN

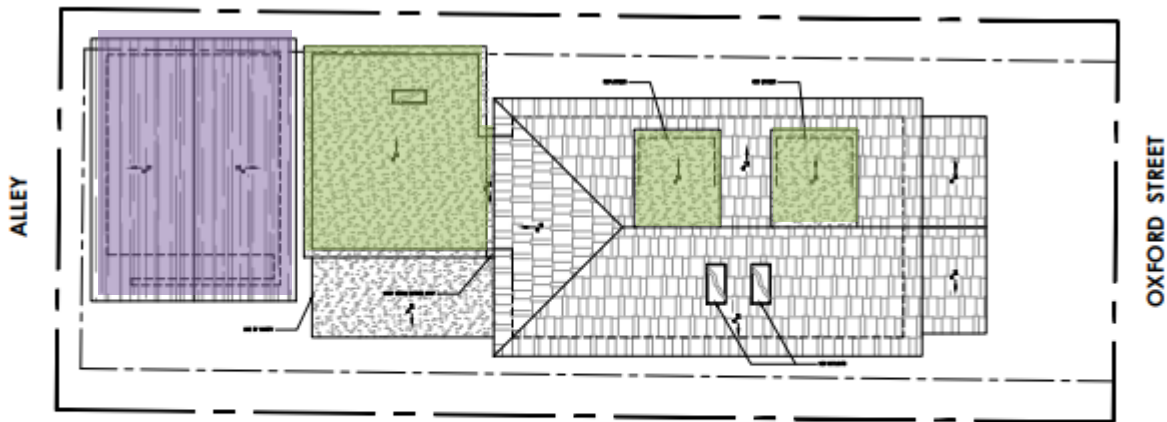
EXISTING



02 EXISTING ROOF PLAN
1/4" = 1'-0"



PROPOSED

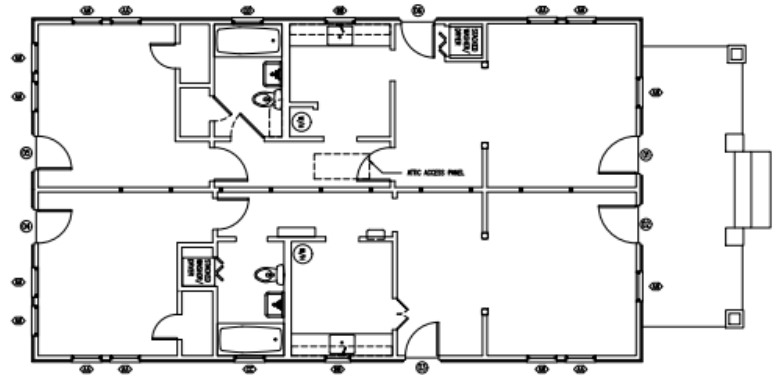


01 PROPOSED ROOF PLAN
1/4" = 1'-0"



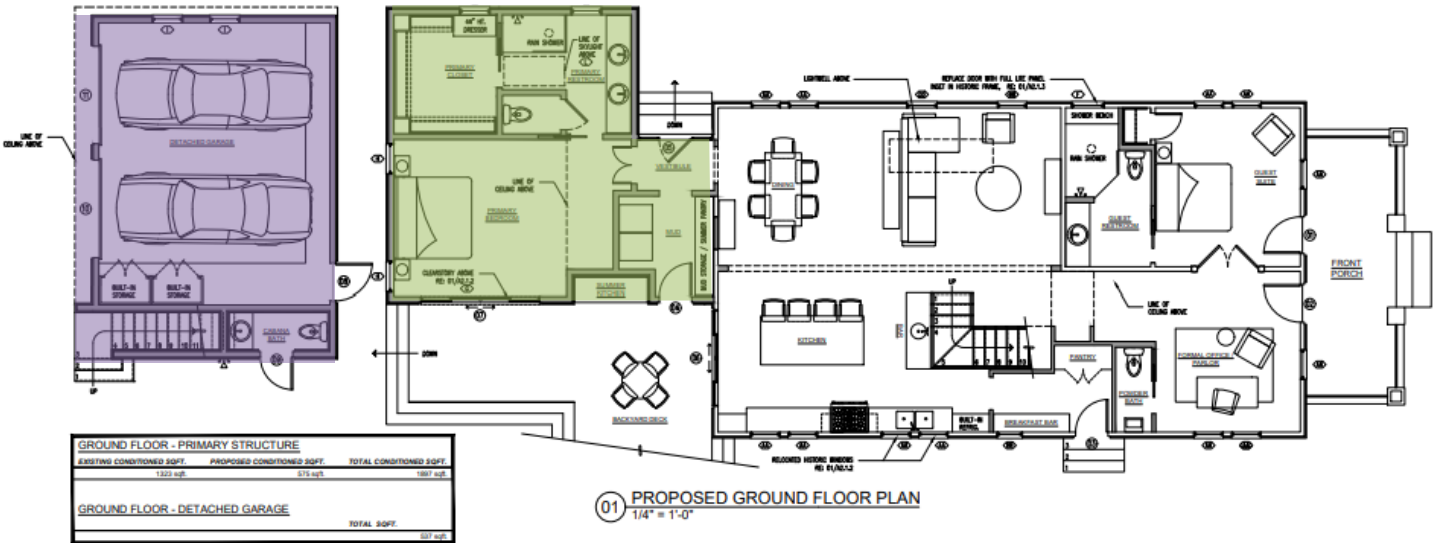
FIRST FLOOR PLAN

EXISTING



02 EXISTING GROUND FLOOR PLAN
1/4" = 1'-0"

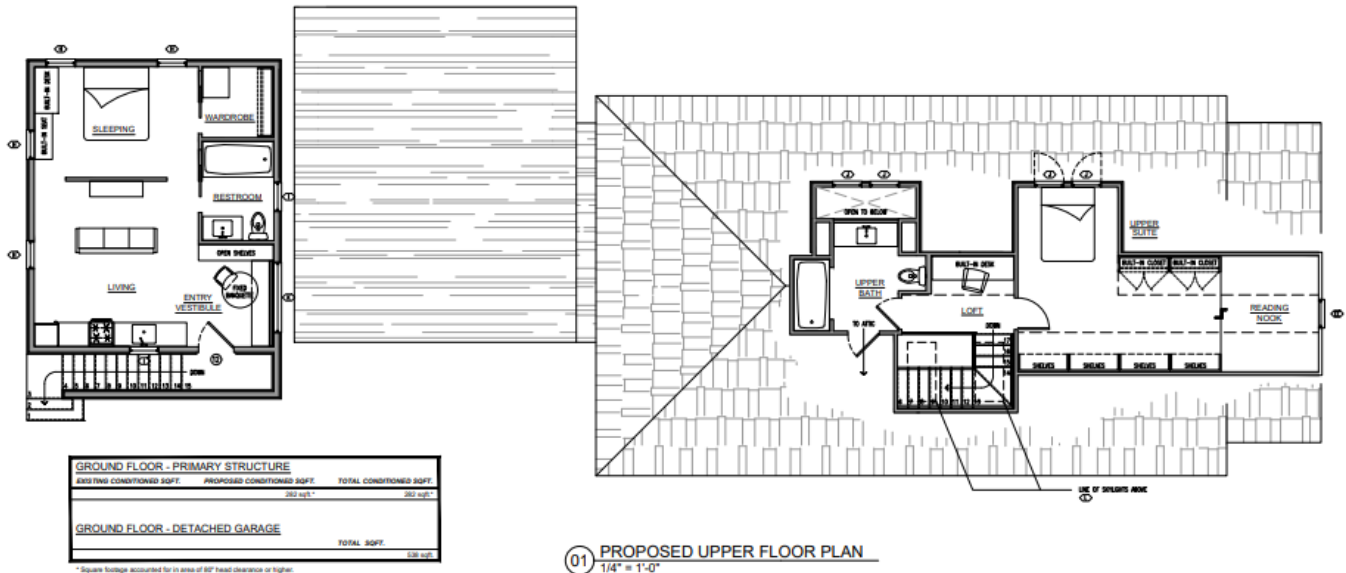
PROPOSED



01 PROPOSED GROUND FLOOR PLAN
1/4" = 1'-0"

SECOND FLOOR PLAN

PROPOSED



Houston Archaeological And Historic Commission
1023 Oxford Street - Heights South
Detailed Photos of Exterior Elements Subject to Proposed Work

Front Elevation - From Street



Rear Elevation - From Alley



Daniel
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Design

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Houston Archaeological And Historic Commission
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Detailed Photos of Exterior Elements Subject to Proposed Work

Side Elevation - North



Side Elevation - South



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Detailed Photos of Exterior Elements Subject to Proposed Work

Brick Steps - Front Porch



Railing Details - Front Porch



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Duplex Unit 1 Entry



Duplex Unit 2 Entry



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Detailed Photos of Exterior Elements Subject to Proposed Work

Typical Eave Details



Typical Door/Window Trim Details



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Typical Pier & Beam Foundation Detail



Existing Driveway - Pavers



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