

CERTIFICATE OF APPROPRIATENESS

Application Date: June 27, 2022

Applicant: Larry White, owner; Sam Gianukos, agent

Property: 1335 Tulane, Tracks 7A & 8, Block 175, Houston Heights; 5,808 SF interior lot, with 1,148 SF house

Significance: Contributing one-story, 1920 bungalow

Proposal: Alteration – Addition

2nd story addition on top of an existing non-original 1-story addition for an additional 924 SF.

Public Comment: None

Civic Association: None

Recommendation: Approval

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- S D NA S - satisfies D - does not satisfy NA - not applicable
(1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
(10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
(11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 5,808 SF

Proposed Lot Coverage: 2,286 SF 39%

Proposed Percentage: 39% and 42% allowed. Meets

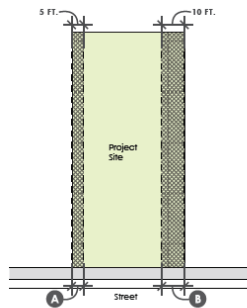
Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: Meets

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (1): No change in side setbacks

Proposed side setback (2):

Cumulative side setback:

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 5,808 SF

Proposed FAR: 2,072 SF vs. 2,671 allowed



Side Wall Length and Insets (Addition and New Construction)

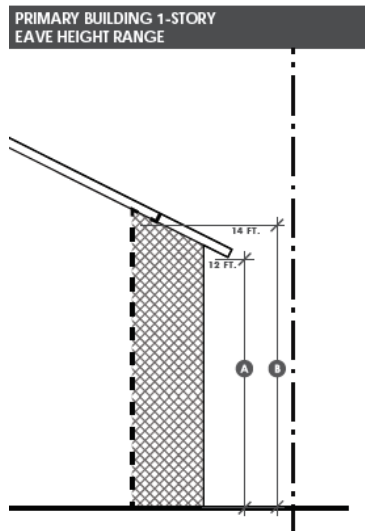
MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: [Meets \(see page A1.3 of drawings\)](#)

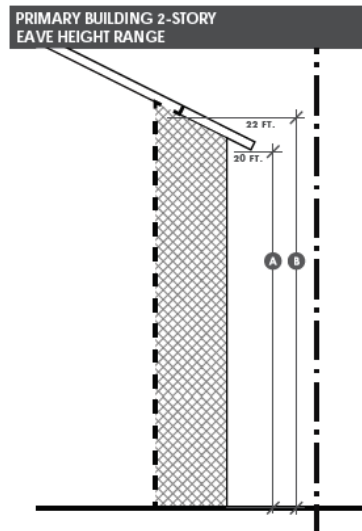
Inset Length:



Eave Height (Addition and New Construction)



KEY	MEASUREMENT	APPLICATION
A	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
B	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback



KEY	MEASUREMENT	APPLICATION
A	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
B	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Proposed eave height: 20' 4" Meets

Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: No Change

Proposed first floor plate height: No Change

Proposed second floor plate height: 8' 1 ¼"

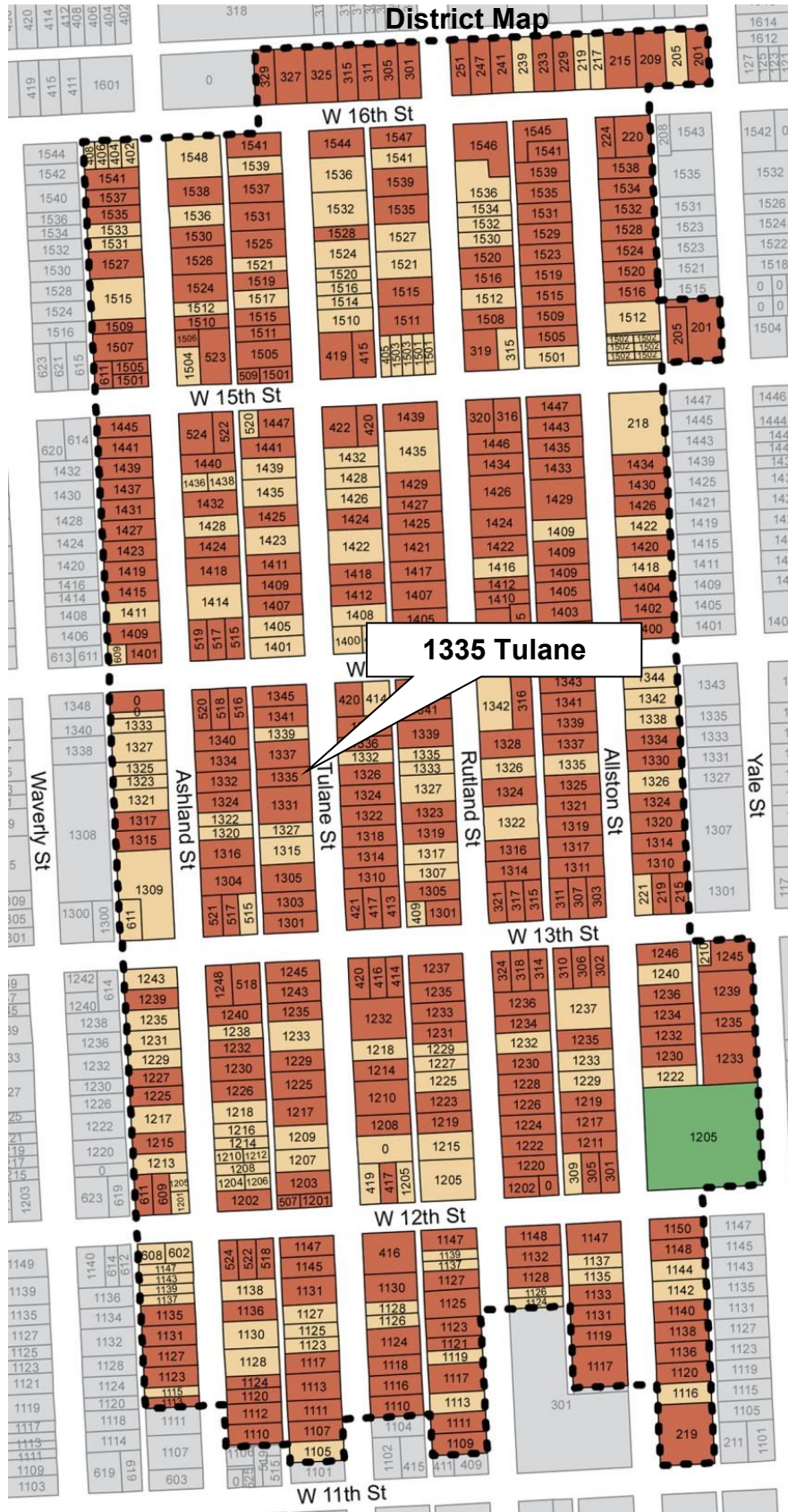










Figure 1 - Site visit - South elevation location of non-orig. addition

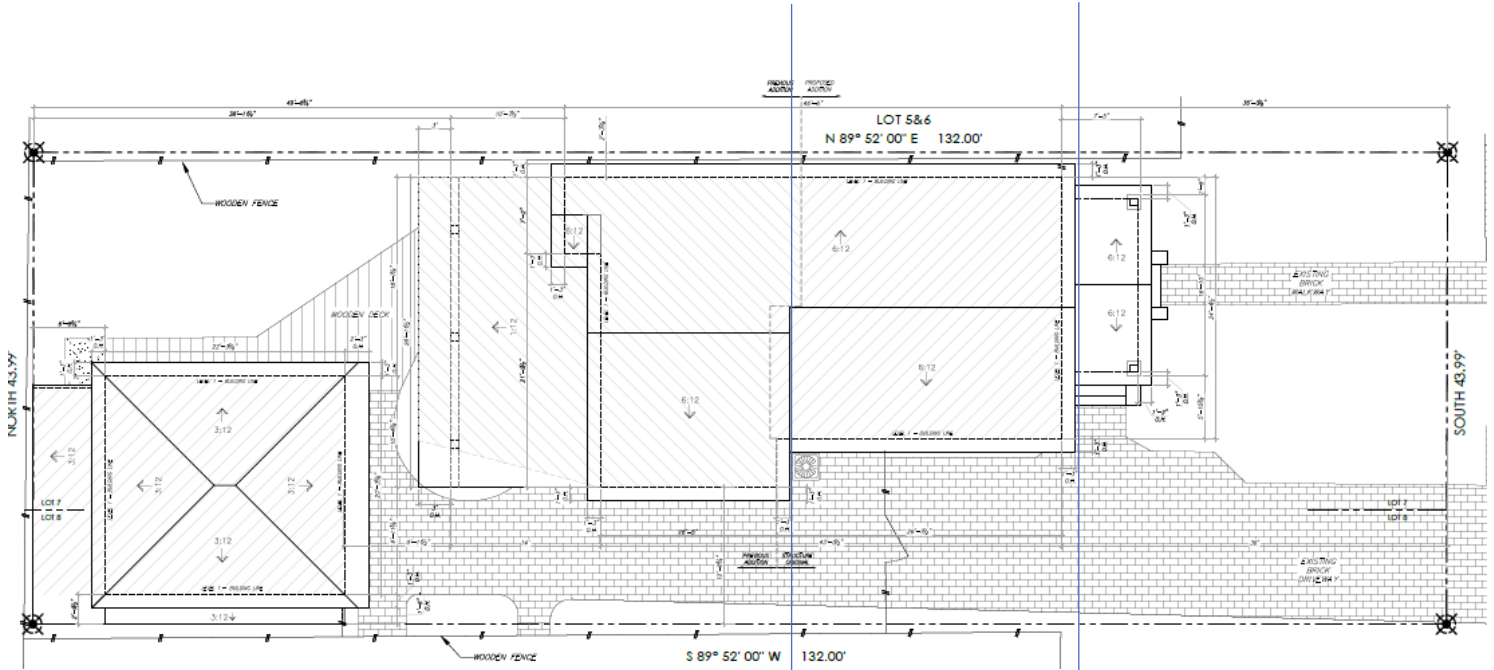


Figure 2 - Existing Roof Plan with non-original addition

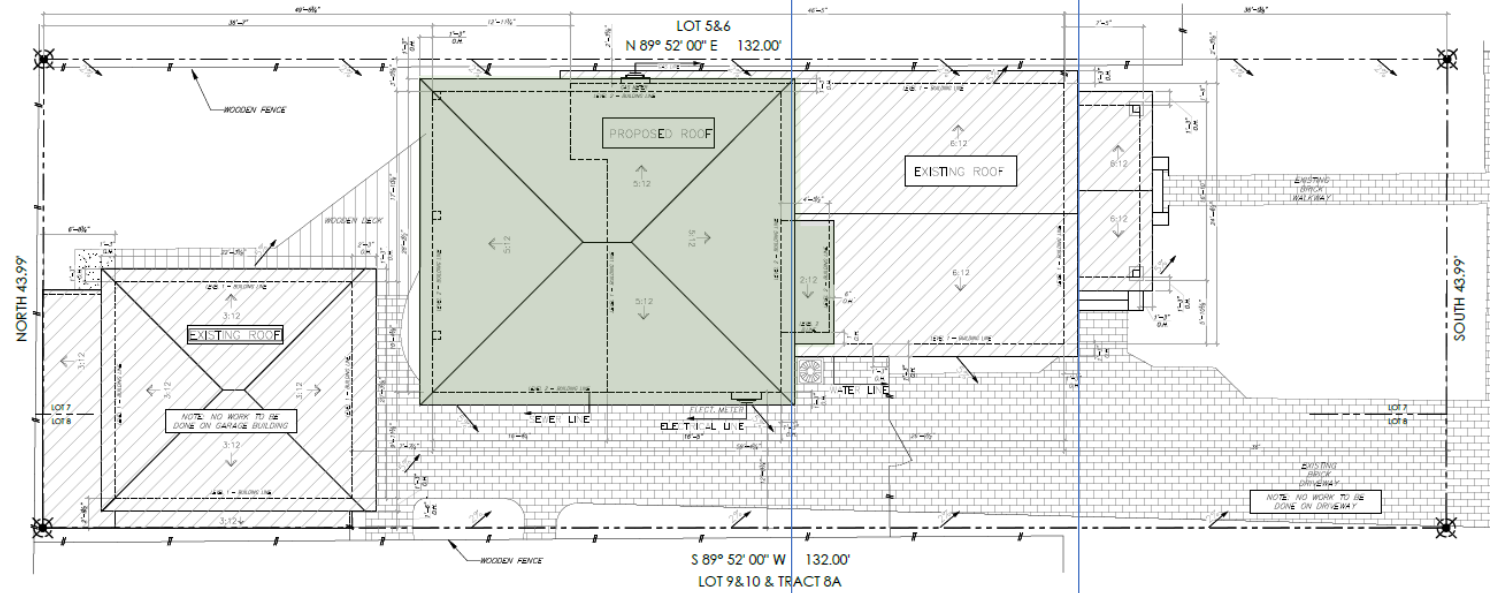


Figure 3 - Proposed Roof Plan 2 story rear addition starts at existing 1st floor addition

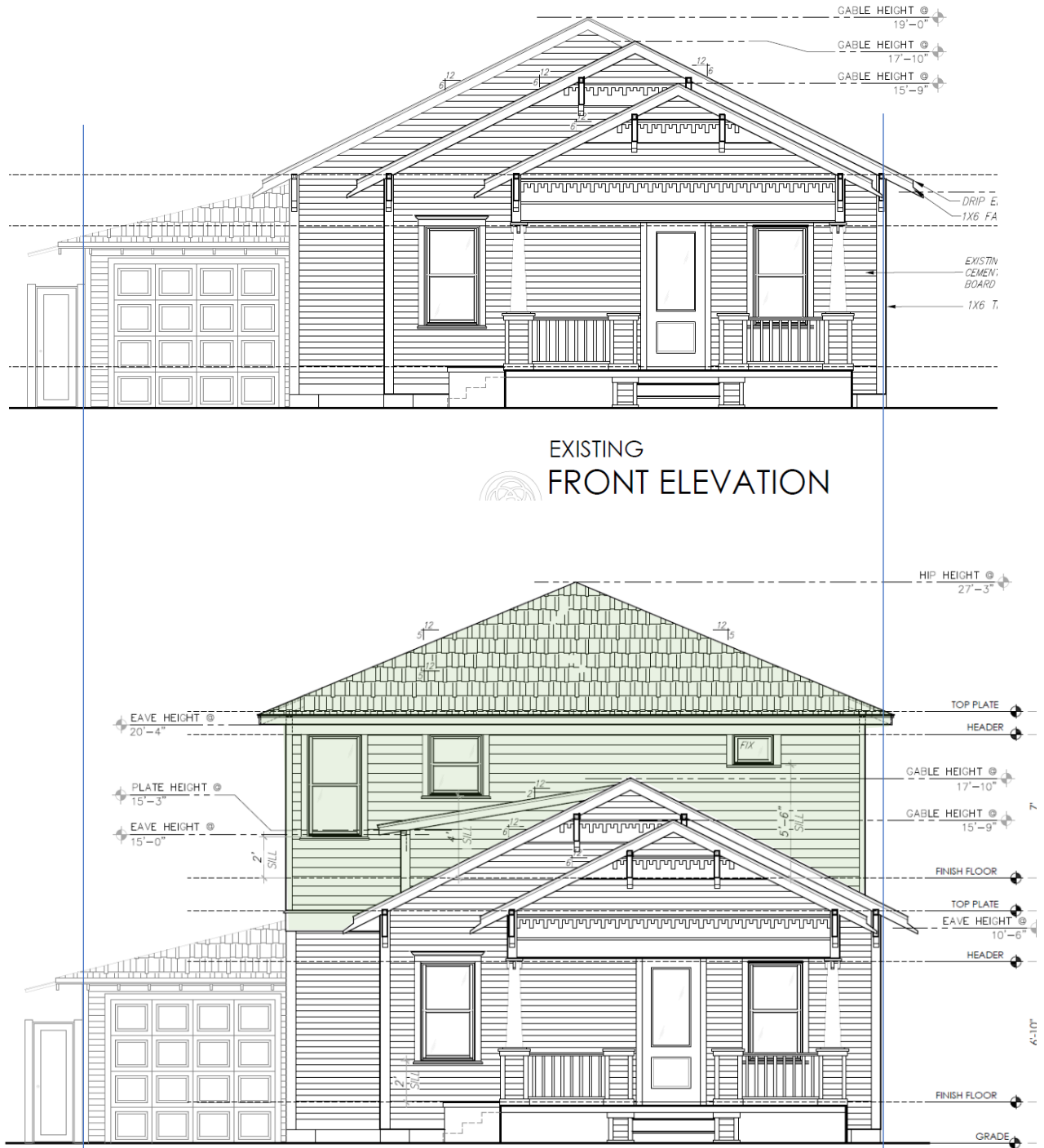
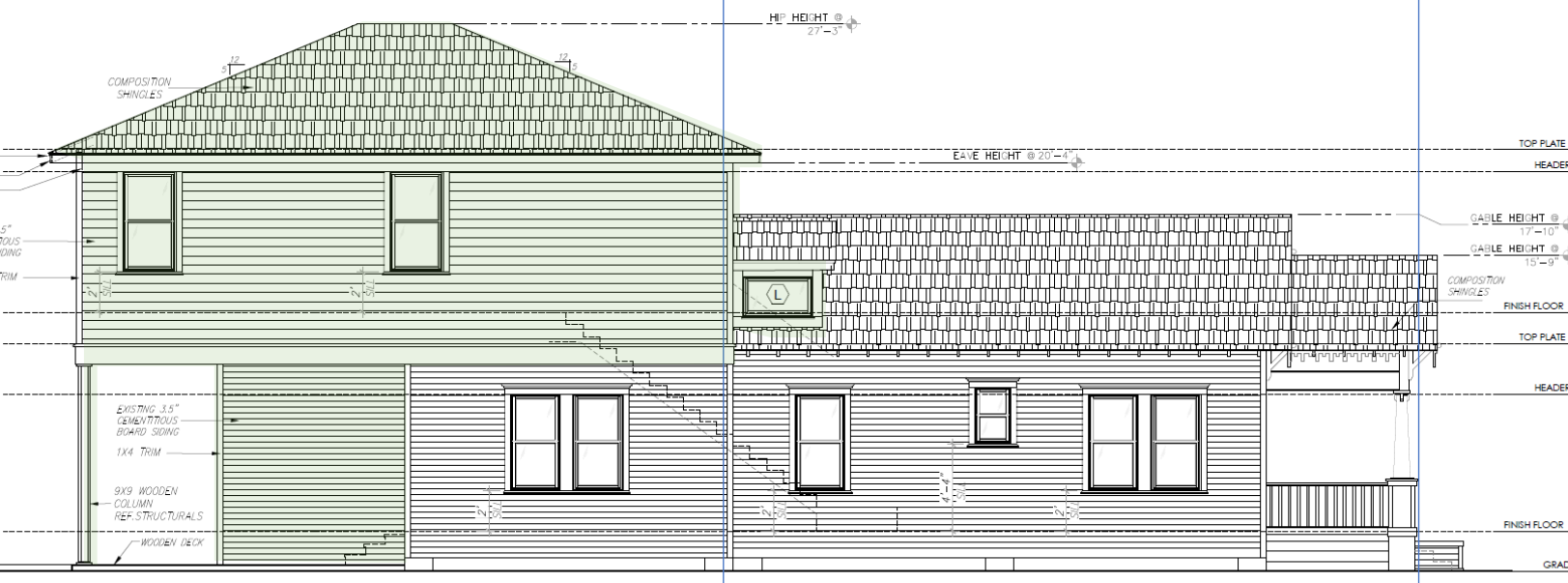


Figure 4 - Propose Front Elevation



EXISTING
LEFT ELEVATION



PROPOSED

Please see drawings attached for details

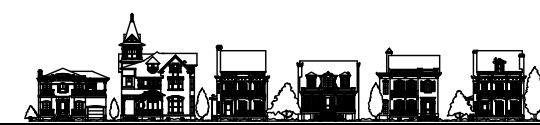


WHITE RESIDENCE

1335 TULANE STREET
HOUSTON, TEXAS

CREOLE DESIGN L.L.C

505 MERRILL
HOUSTON, TX 77009
(713)880-3158



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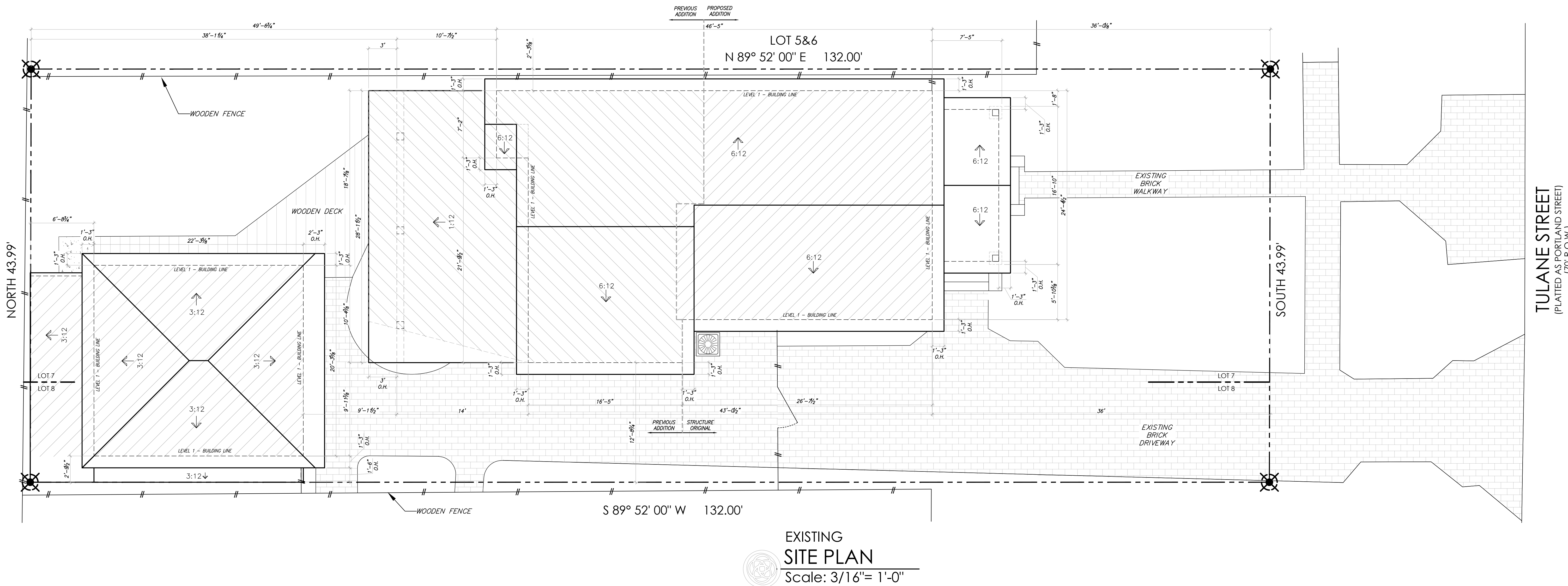
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HOUSTON, TEXAS

SHEET TITLE
EXISTING SITE PLAN

SHEET NO.
A0.1



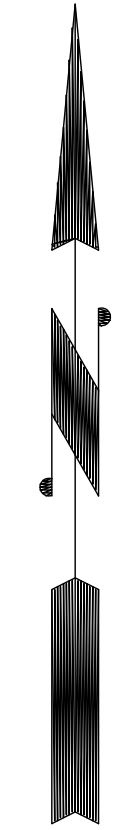
EXISTING SITE PLAN
Scale: 3/16" = 1'-0"

AREA LEGEND	
	ORIGINAL STRUCTURE
	PREVIOUS ADDITION
	PROPOSED ADDITION

LEGAL DESCRIPTION
LOT: 7 & ADJOINING NORTH
10 2/3' OF LOT 8
BLOCK: 175
HOUSTON HEIGHTS
HOUSTON, TEXAS

*** NOTE ***
FIRST FLOOR FINISHED HEIGHT TO
BE NOT LESS THAN
12" ABOVE NEAREST MANHOLE RIM.

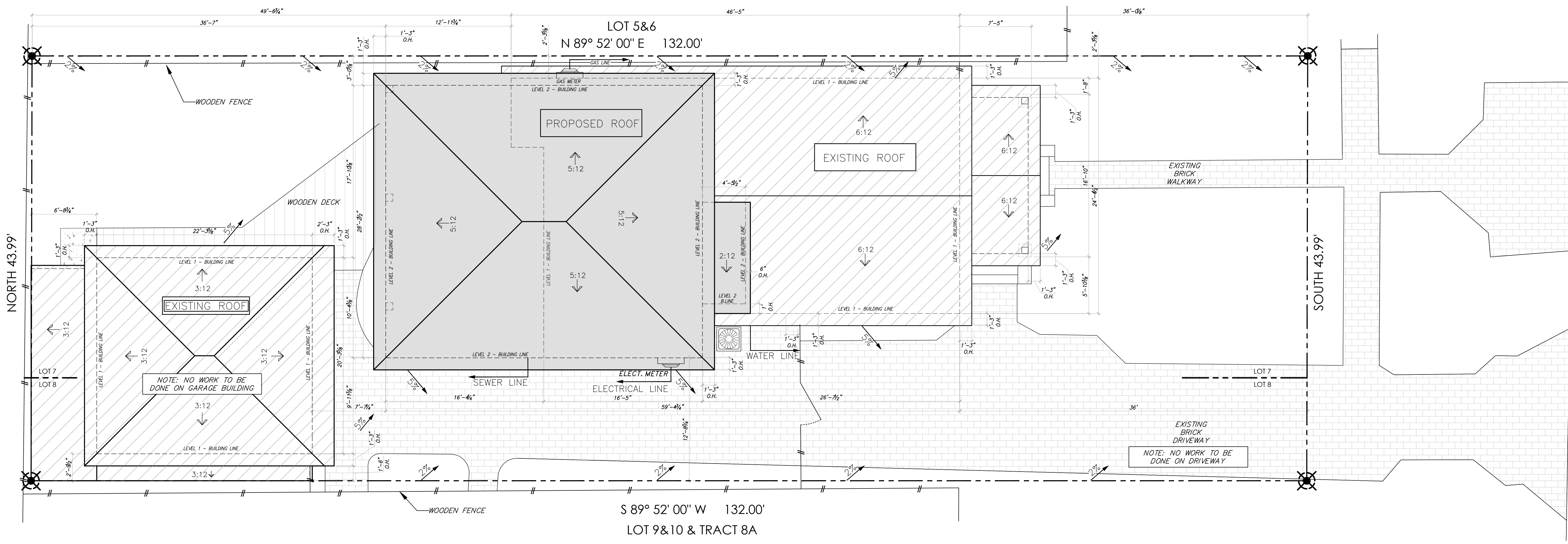
CALCULATION-EXISTING IMPERVIOUS PERCENTAGE	
HOUSE / GARAGE	2,286 SQ. FT.
DRIVEWAY / SIDEWALK	1,485 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,772 SQ. FT.
LOT AREA	5,807 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	64.95%



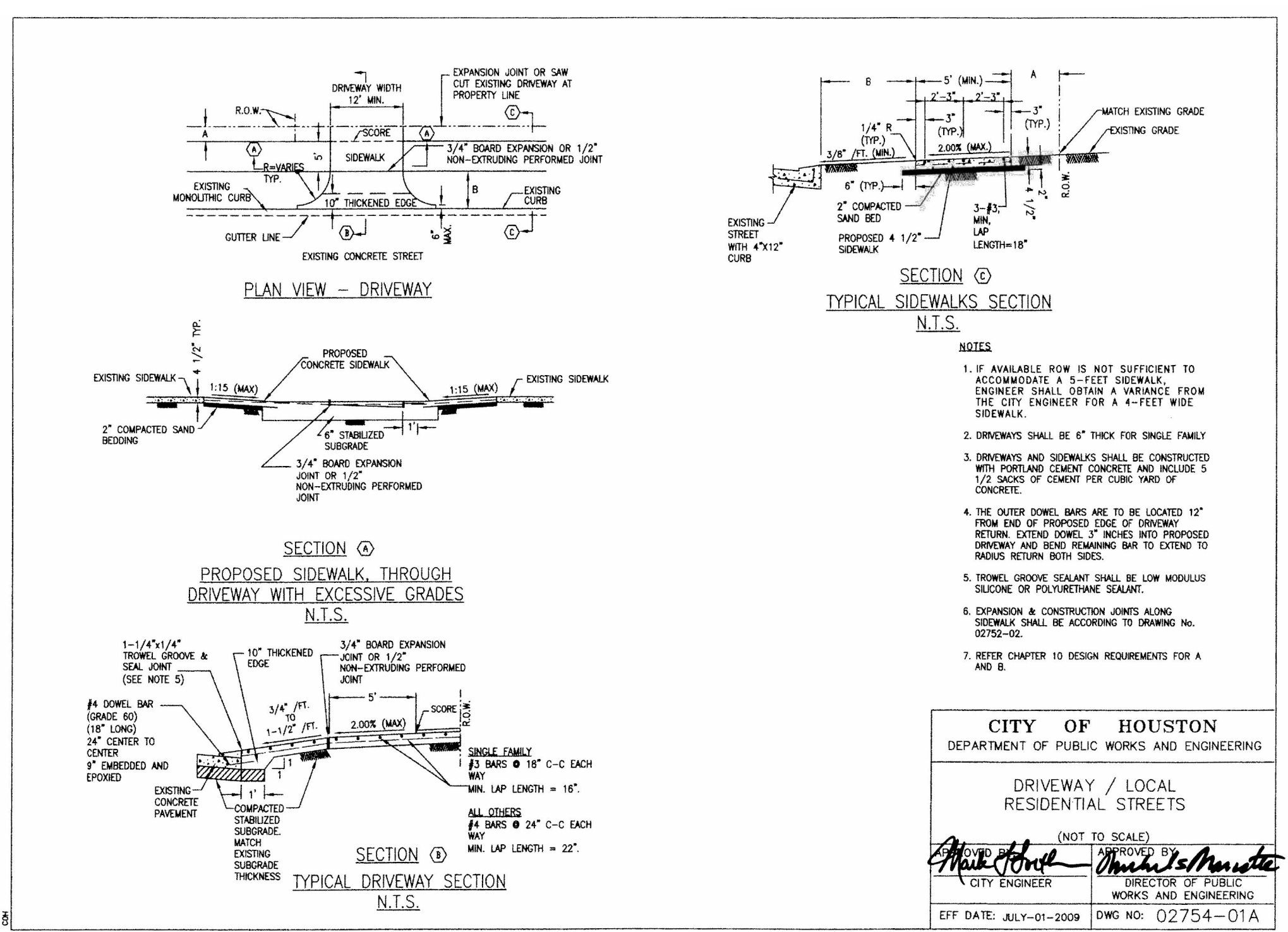
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PROPOSED SITE PLAN
Scale: 3/16" = 1'-0"



CITY OF HOUSTON
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

DRIVEWAY / LOCAL RESIDENTIAL STREETS

(NOT TO SCALE)

APPROVED BY: *[Signature]*
CITY ENGINEER

APPROVED BY: *[Signature]*
DIRECTOR OF PUBLIC WORKS AND ENGINEERING

EFF DATE: JULY-01-2009 DWG NO: 02754-01A

LEGAL DESCRIPTION

LOT: 7 & ADJOINING NORTH
10 2/3' OF LOT 8
BLOCK: 175
HOUSTON HEIGHTS
HOUSTON, TEXAS

*** NOTE ***

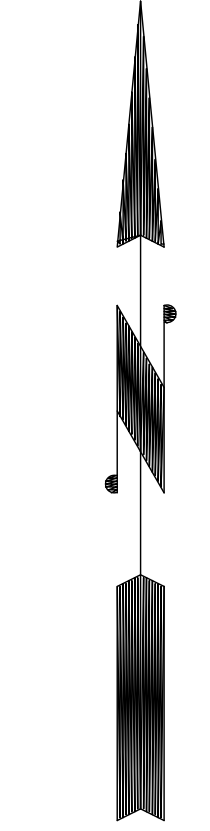
FIRST FLOOR FINISHED HEIGHT TO BE NOT LESS THAN 12" ABOVE NEAREST MANHOLE RIM.

AREA LEGEND

	ORIGINAL STRUCTURE
	PREVIOUS ADDITION
	PROPOSED ADDITION

CALCULATION-PROPOSED IMPERVIOUS PERCENTAGE

HOUSE / GARAGE	2,286 SQ. FT.
DRIVEWAY / SIDEWALK	1,485 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,772 SQ. FT.
LOT AREA	5,807 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	64.95%



WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
PROPOSED SITE PLAN

SHEET NO.
A0.2

TULANE STREET
(PLATTED AS PORTLAND STREET)
(70' R.O.W.)

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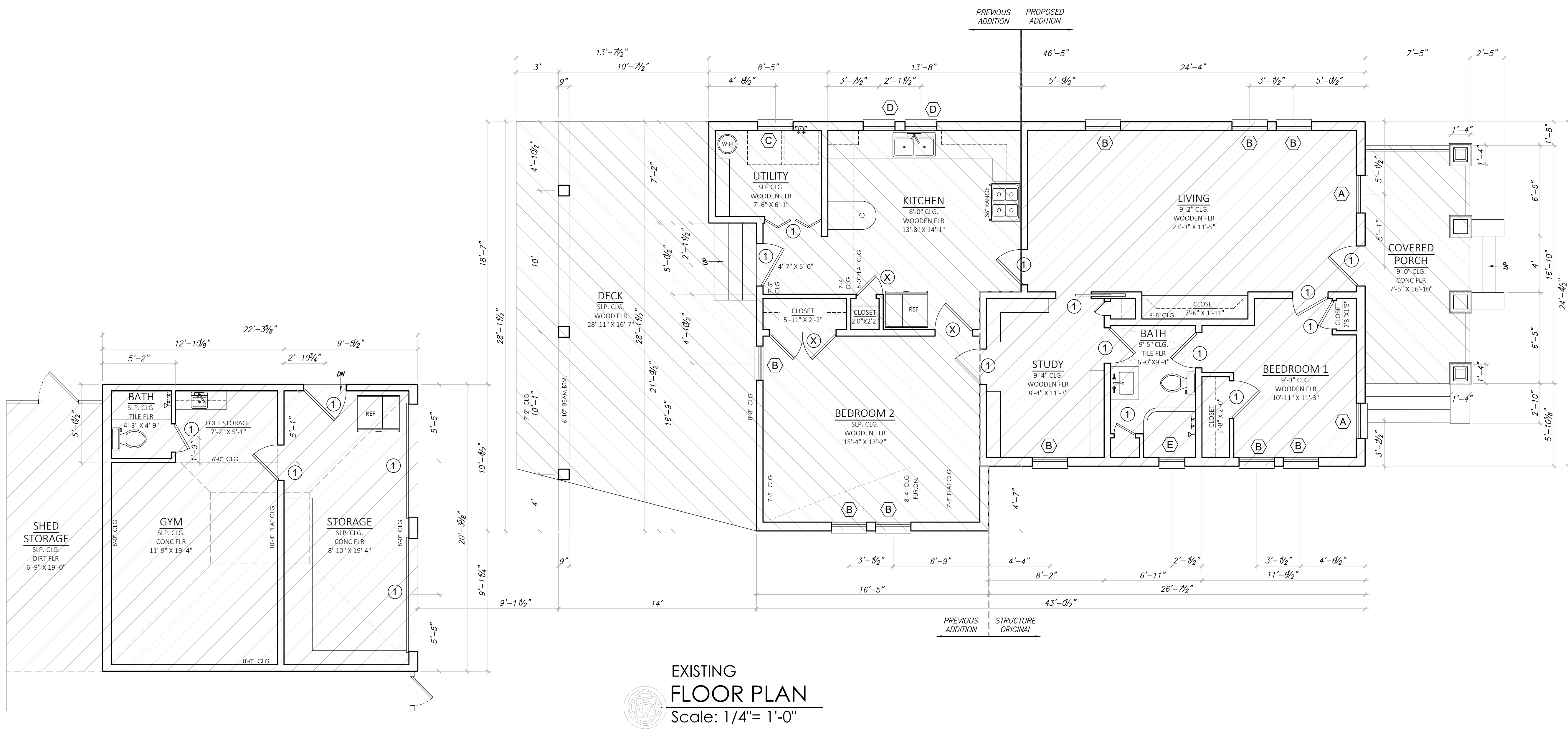
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WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
EXISTING FLOOR PLAN

SHEET NO.

A1.1



EXISTING FLOOR PLAN
Scale: 1/4"= 1'-0"

MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	REMAIN TO EXISTING
(A)	2	2'-8"	4'-10"	SINGLE HUNG	REMAIN TO EXISTING
(B)	9	2'-6"	4'-10"	SINGLE HUNG	REMAIN TO EXISTING
(C)	1	2'-6"	2'-8"	SINGLE HUNG	REMAIN TO EXISTING
(D)	2	2'-3"	2'-9"	SINGLE HUNG	REMAIN TO EXISTING
(E)	1	1'-10"	2'-10"	FIXED	REMAIN TO EXISTING

DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
X	-	-	-	DEMO
1	-	-	-	REMAIN TO EXISTING
2	3	3'-0"	6'-8"	(2)166B PAIR, INTERIOR DOOR
3	3	2'-6"	6'-8"	INTERIOR DOOR
4	1	2'-8"	6'-8"	INTERIOR DOOR

AREA LEGEND	
	ORIGINAL STRUCTURE
	PREVIOUS ADDITION
	PROPOSED ADDITION

WALL LEGEND	
	EXISTING WALLS
	NEW WALLS
	DEMO WALLS

EXISTING SQUARE FOOTAGE	
LEVEL 1 FLOOR PLAN	1,148
TOTAL HEATED	1,148
FRONT PORCH	125
REAR PORCH	421
GARAGE	453
SHED STORAGE	129
TOTAL UN-HEATED	1,128
TOTAL COVERED	2,276

NOTE:
ADHERES TO
IECC 2015

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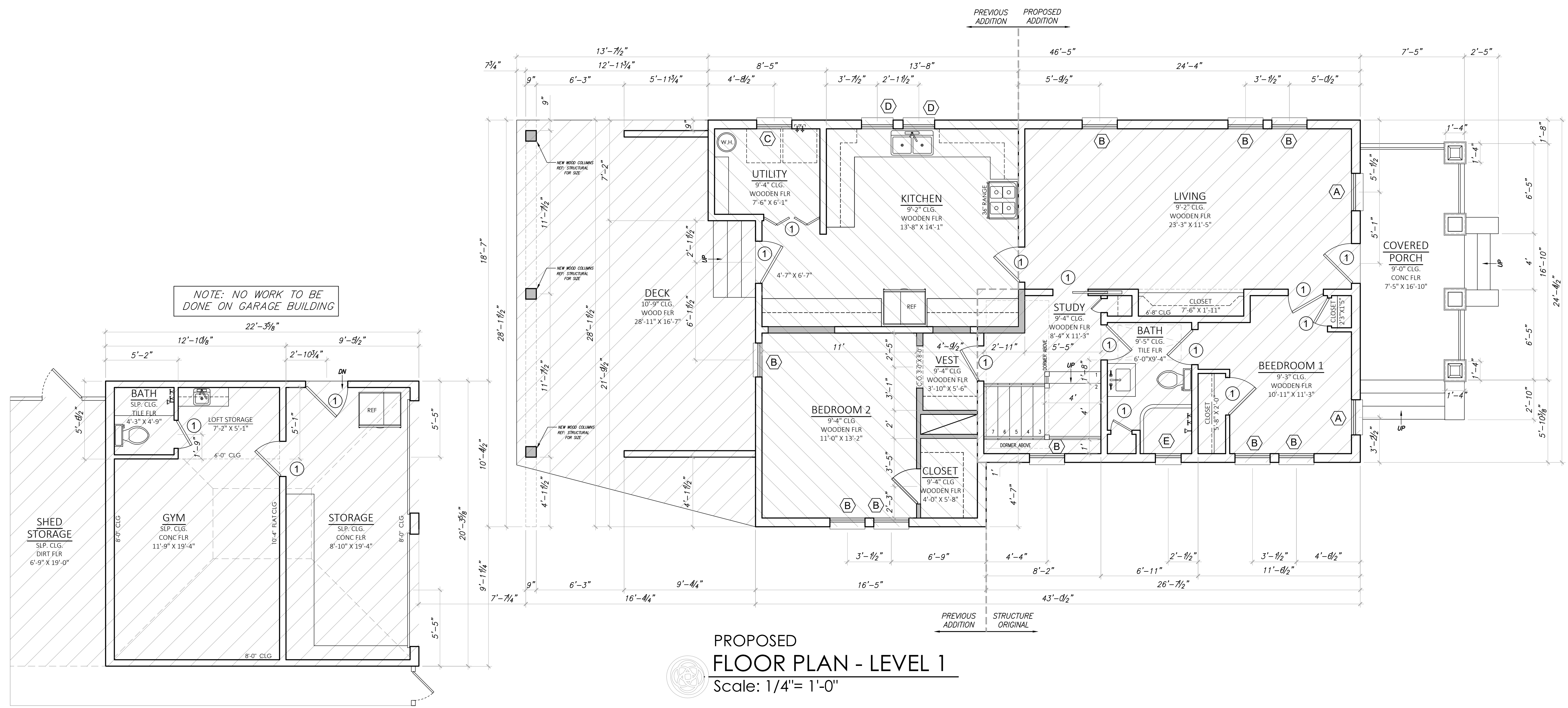
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WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
**PROPOSED
FLOOR
PLAN**

SHEET NO.
A1.3

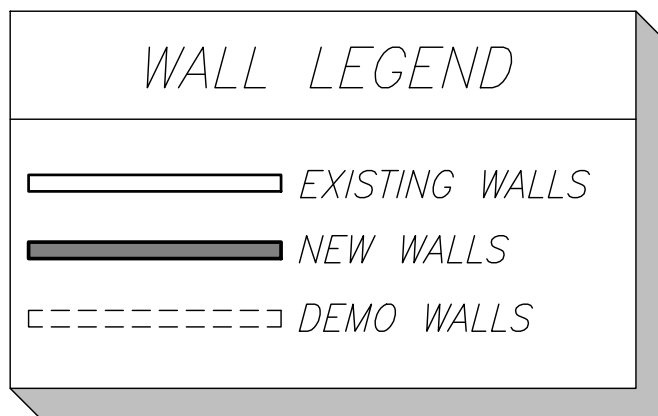
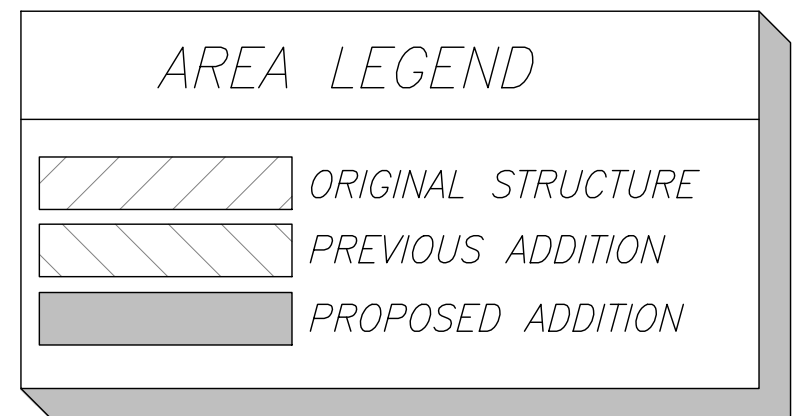


NOTE: NO WORK TO BE DONE ON GARAGE BUILDING

MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	REMARKS
(A)	2	2'-8"	4'-10"	SINGLE HUNG	REMAIN TO EXISTING
(B)	9	2'-6"	4'-10"	SINGLE HUNG	REMAIN TO EXISTING
(C)	1	2'-6"	2'-8"	SINGLE HUNG	REMAIN TO EXISTING
(D)	2	2'-3"	2'-9"	SINGLE HUNG	REMAIN TO EXISTING
(E)	1	1'-10"	2'-10"	FIXED	REMAIN TO EXISTING

MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	REMARKS
(F)	6	2'-8"	5'-0"	SINGLE HUNG	NEW
(G)	1	4'-0"	3'-0"	FIX TEMPERED	NEW
(H)	1	2'-8"	3'-0"	SINGLE HUNG	NEW
(J)	1	2'-0"	1'-6"	FIX TEMPERED TRANSOME	NEW
(K)	2	2'-0"	1'-6"	FIX TRANSOME	NEW
(L)	1	3'-6"	2'-0"	FIX TRANSOME	NEW

DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
X	-	-	-	DEMO
1	-	-	-	REMAIN TO EXISTING
2	3	3'-0"	6'-8"	(2) 1668 PAIR, INTERIOR DOOR
3	3	2'-6"	6'-8"	INTERIOR DOOR
4	1	2'-8"	6'-8"	INTERIOR DOOR



	ORIGINAL STRUCTURE	PREVIOUS ADDITION	PROPOSED ADDITION +/-	REDESIGNED
FIRST FLOOR:	629 SQ.FT.	519 SQ.FT.	- SQ.FT.	1148 SQ.FT.
SECOND FLOOR:	- SQ.FT.	- SQ.FT.	+ 924 SQ.FT.	924 SQ.FT.
TOTAL HEATED :	629 SQ.FT.	519 SQ.FT.	+ 924 SQ.FT.	2072 SQ.FT.
FRONT PORCH :	125 SQ.FT.	- SQ.FT.	- SQ.FT.	125 SQ.FT.
REAR PORCH :	- SQ.FT.	421 SQ.FT.	- SQ.FT.	421 SQ.FT.
GARAGE :	453 SQ.FT.	- SQ.FT.	- SQ.FT.	453 SQ.FT.
SHED STORAGE :	129 SQ.FT.	- SQ.FT.	- SQ.FT.	129 SQ.FT.
TOTAL UNHEATED:	707 SQ.FT.	421 SQ.FT.	- SQ.FT.	1128 SQ.FT.
TOTAL COVER:	1336 SQ.FT.	940 SQ.FT.	924 SQ.FT.	3200 SQ.FT.

NOTE:
ADHERES TO
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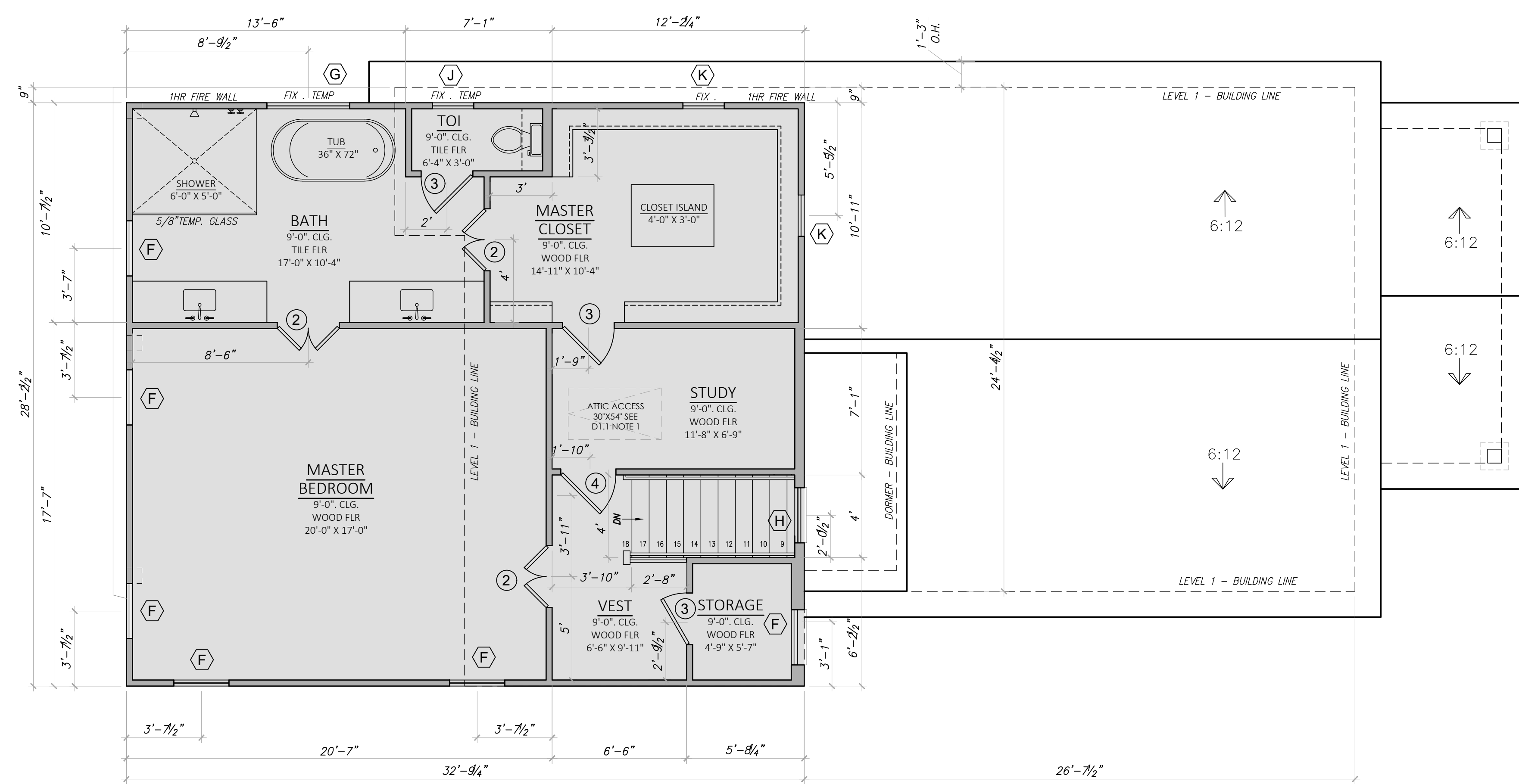
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MARK	DATE	DESCRIPTION	MARK	DATE	DESCRIPTION

WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
**PROPOSED
FLOOR
PLAN**

SHEET NO.
A1.4

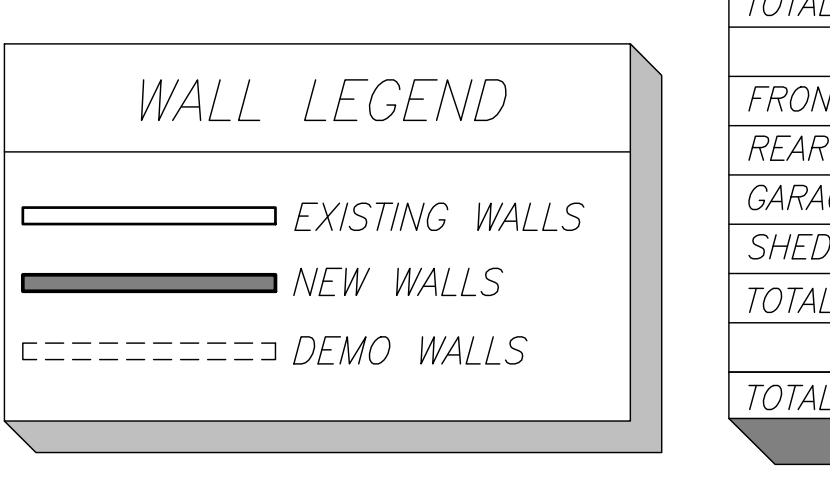
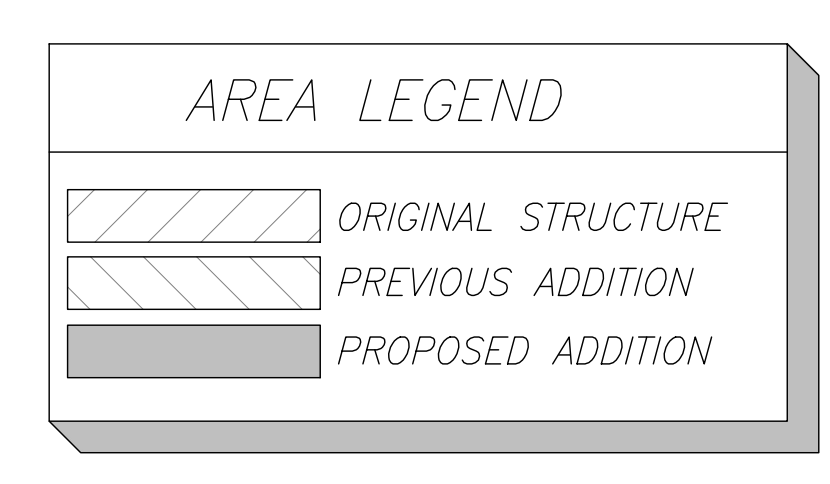


**PROPOSED
FLOOR PLAN - LEVEL 2**
Scale: 1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
A	2	2'-8"	4'-10"	SINGLE HUNG	REMAIN TO EXISTING
B	9	2'-6"	4'-10"	SINGLE HUNG	REMAIN TO EXISTING
C	1	2'-6"	2'-8"	SINGLE HUNG	REMAIN TO EXISTING
D	2	2'-3"	2'-9"	SINGLE HUNG	REMAIN TO EXISTING
E	1	1'-10"	2'-10"	FIXED	REMAIN TO EXISTING

WINDOW SCHEDULE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
F	6	2'-8"	5'-0"	SINGLE HUNG	NEW
G	1	4'-0"	3'-0"	FIX TEMPERED	NEW
H	1	2'-8"	3'-0"	SINGLE HUNG	NEW
J	1	2'-0"	1'-6"	FIX TEMPERED TRANSOME	NEW
K	2	2'-0"	1'-6"	FIX TRANSOME	NEW
L	1	3'-6"	2'-0"	FIX TRANSOME	NEW

DOOR SCHEDULE					
DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION	
X	-	-	-	DEMO	
1	-	-	-	REMAIN TO EXISTING	
2	3	3'-0"	6'-8"	(2)1668 PAIR, INTERIOR DOOR	
3	3	2'-6"	6'-8"	INTERIOR DOOR	
4	1	2'-8"	6'-8"	INTERIOR DOOR	



AREA CALCULATIONS				
	ORIGINAL STRUCTURE	PREVIOUS ADDITION	PROPOSED ADDITION +/-	REDESIGNED
FIRST FLOOR:	629 SQ.FT.	519 SQ.FT.	- SQ.FT.	1148 SQ.FT.
SECOND FLOOR:	- SQ.FT.	- SQ.FT.	+ 924 SQ.FT.	924 SQ.FT.
TOTAL HEATED :	629 SQ.FT.	519 SQ.FT.	+ 924 SQ.FT.	2072 SQ.FT.
FRONT PORCH :	125 SQ.FT.	- SQ.FT.	- SQ.FT.	125 SQ.FT.
REAR PORCH :	- SQ.FT.	421 SQ.FT.	- SQ.FT.	421 SQ.FT.
GARAGE :	453 SQ.FT.	- SQ.FT.	- SQ.FT.	453 SQ.FT.
SHED STORAGE :	129 SQ.FT.	- SQ.FT.	- SQ.FT.	129 SQ.FT.
TOTAL UNHEATED:	707 SQ.FT.	421 SQ.FT.	- SQ.FT.	1128 SQ.FT.
TOTAL COVER:	1336 SQ.FT.	940 SQ.FT.	924 SQ.FT.	3200 SQ.FT.

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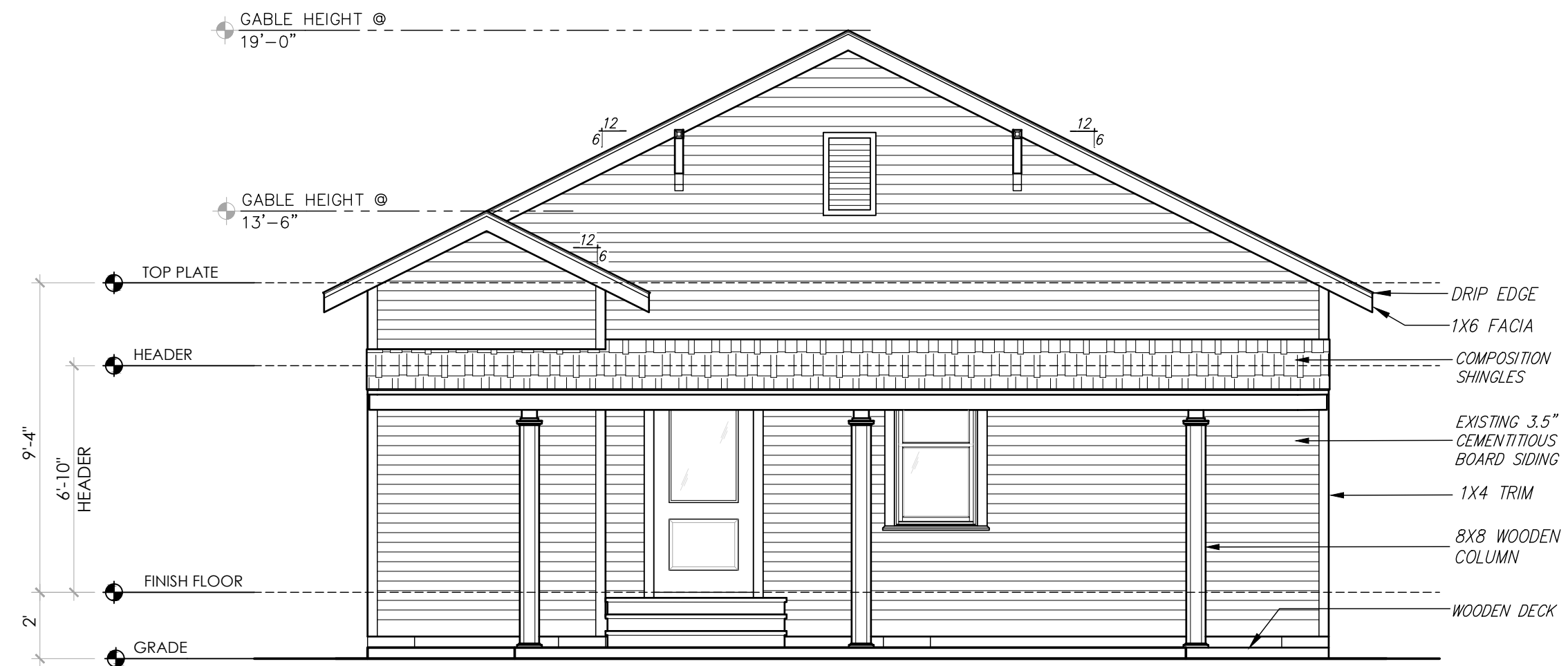
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MARK	DATE	DESCRIPTION
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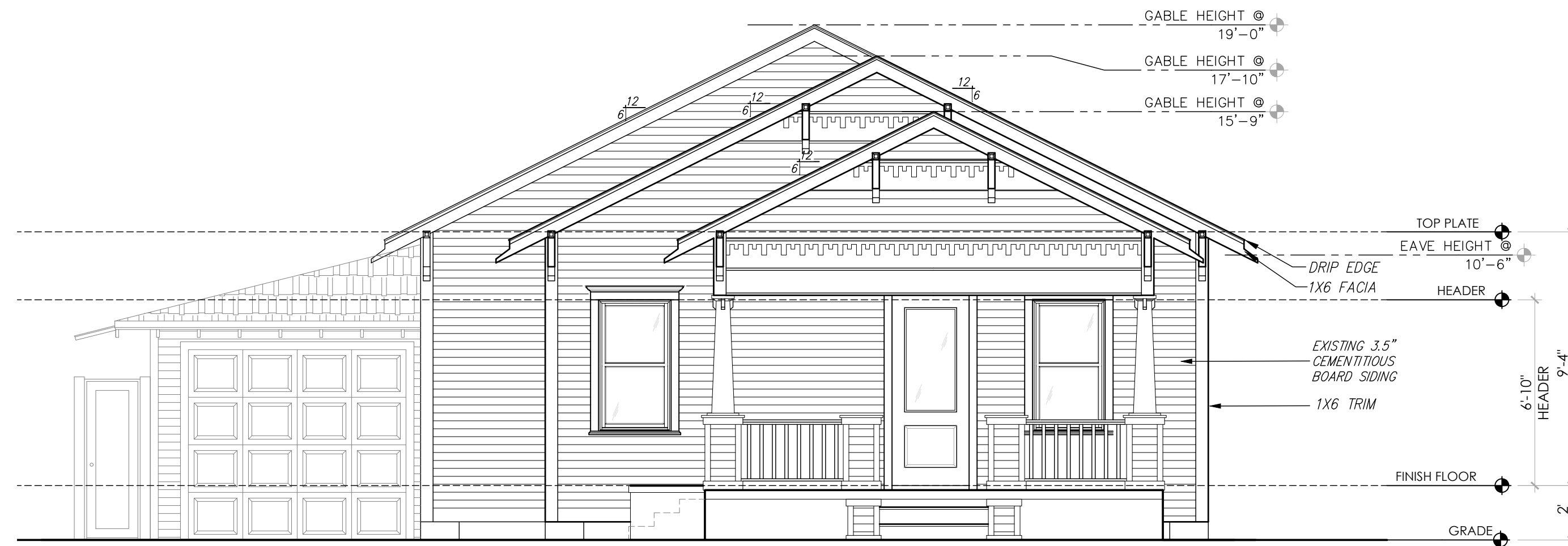
WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
EXISTING ELEVATIONS

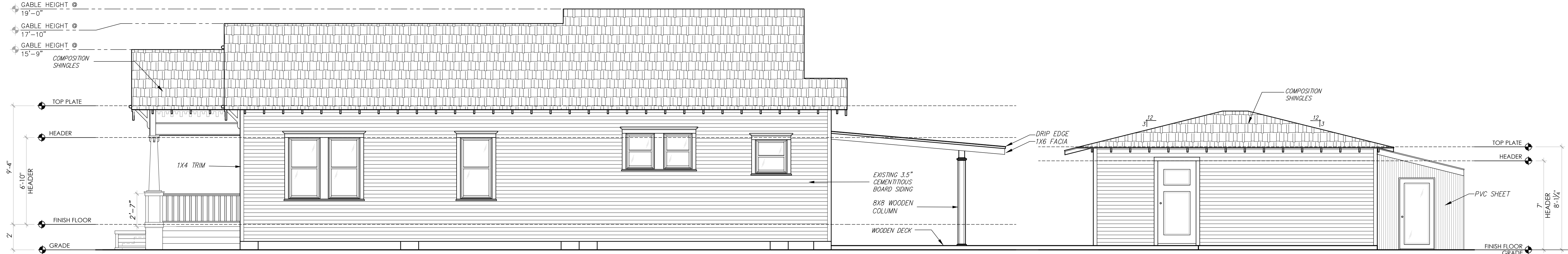
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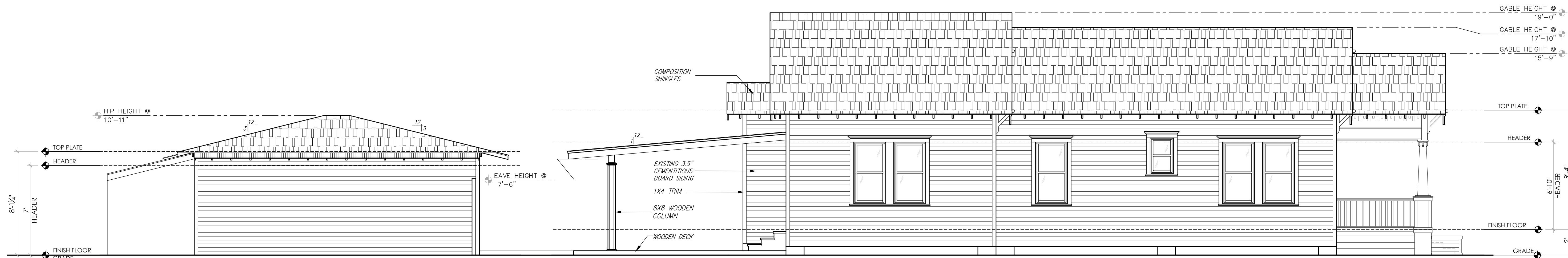
EXISTING REAR ELEVATION
Scale: 1/4" = 1'-0"



EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
Scale: 1/4" = 1'-0"



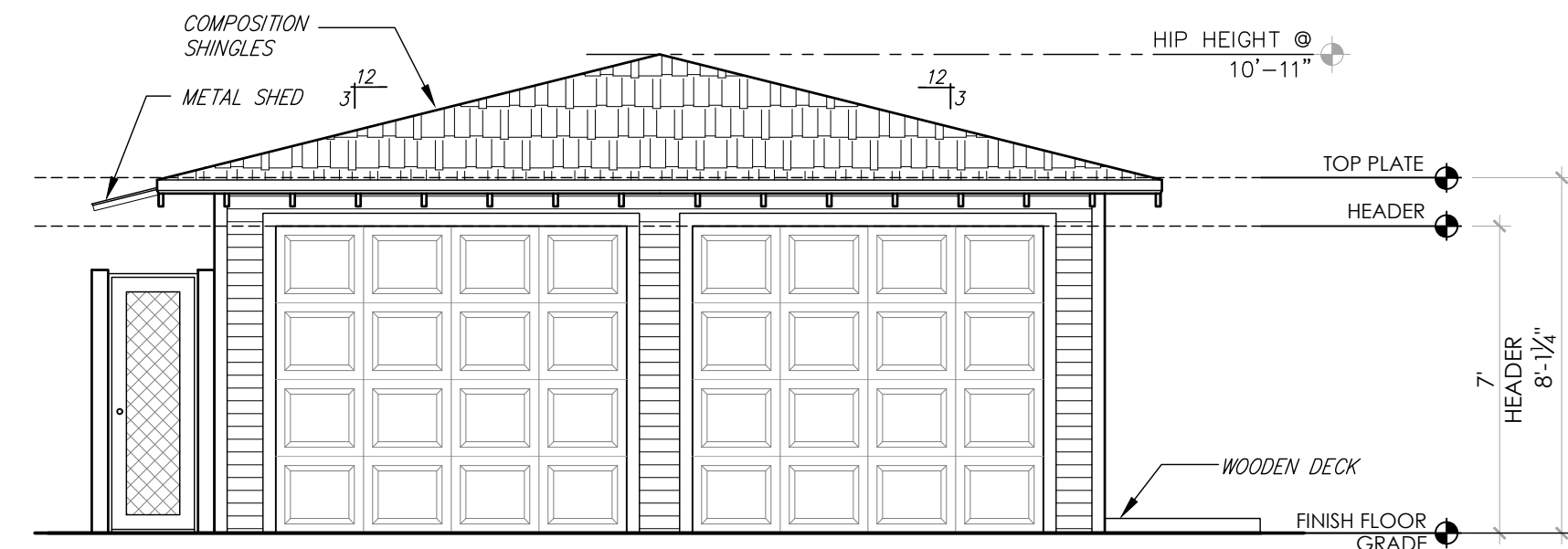
EXISTING LEFT ELEVATION
Scale: 1/4" = 1'-0"

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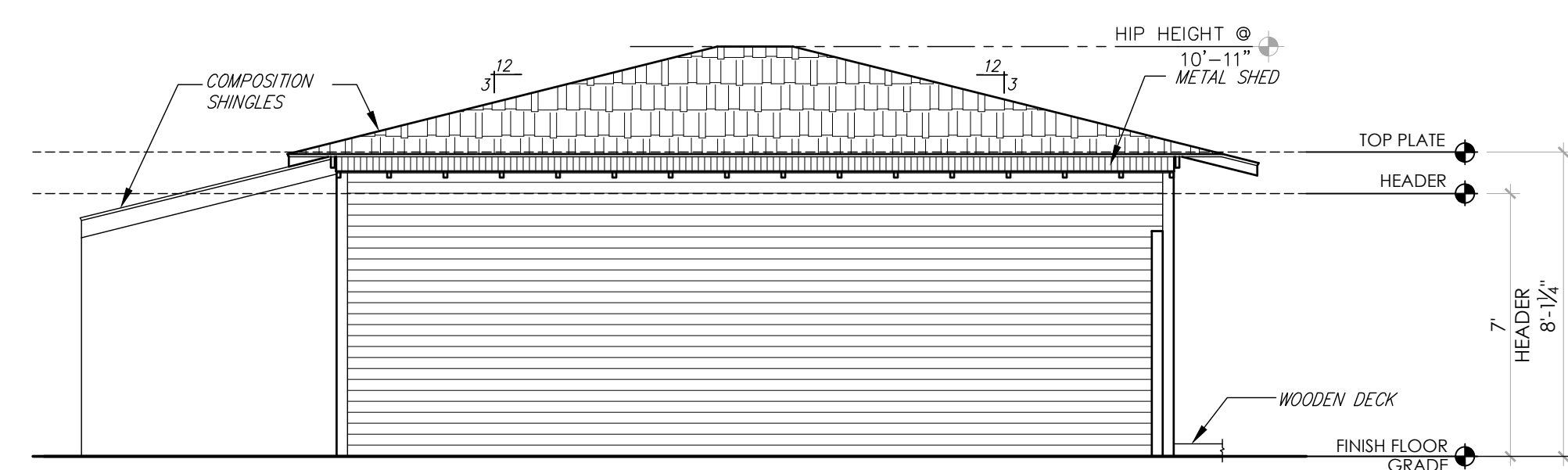
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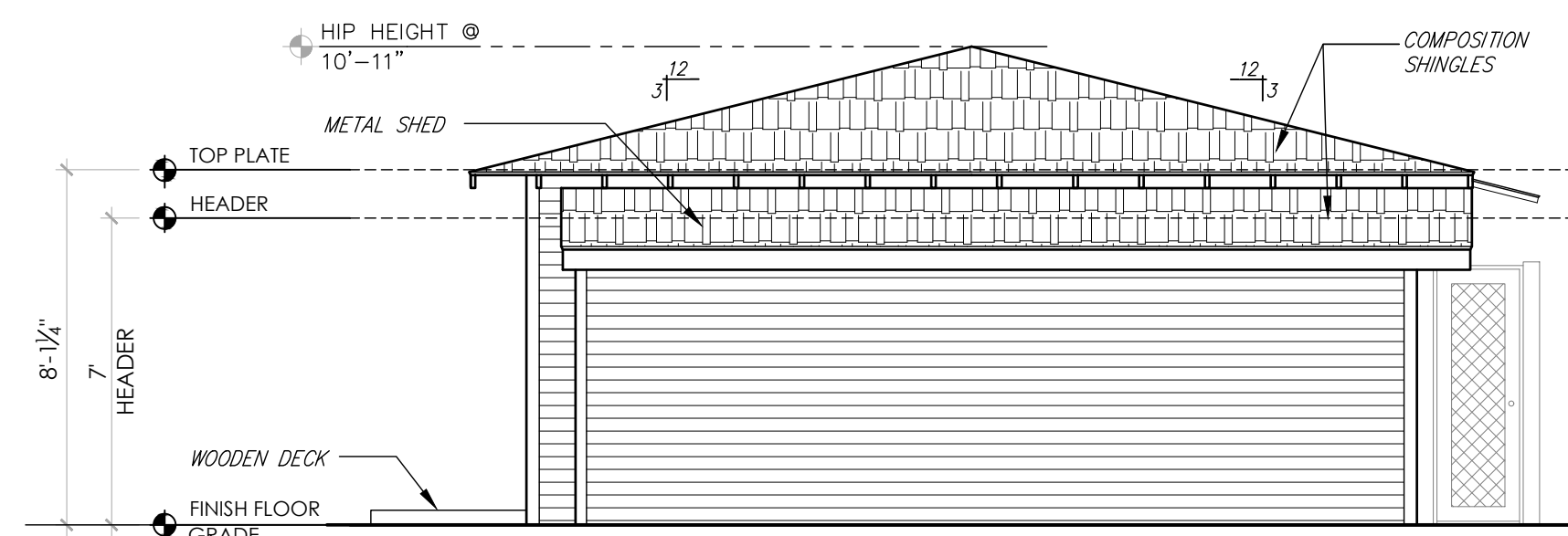
DRAWN BY: SP



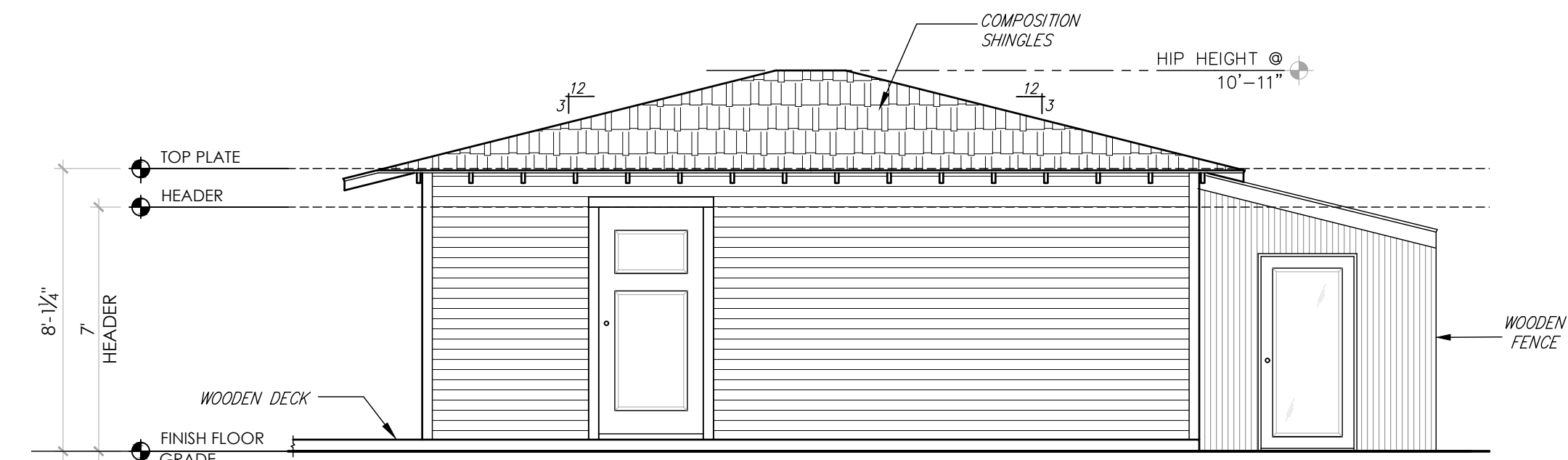
EXISTING GARAGE
FRONT ELEVATION
Scale: 1/4"= 1'-0"



EXISTING GARAGE
LEFT ELEVATION
Scale: 1/4"= 1'-0"



EXISTING GARAGE
REAR ELEVATION
Scale: 1/4"= 1'-0"



EXISTING GARAGE
RIGHT ELEVATION
Scale: 1/4"= 1'-0"

WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
EXISTING ELEVATIONS

SHEET NO.
A2.2

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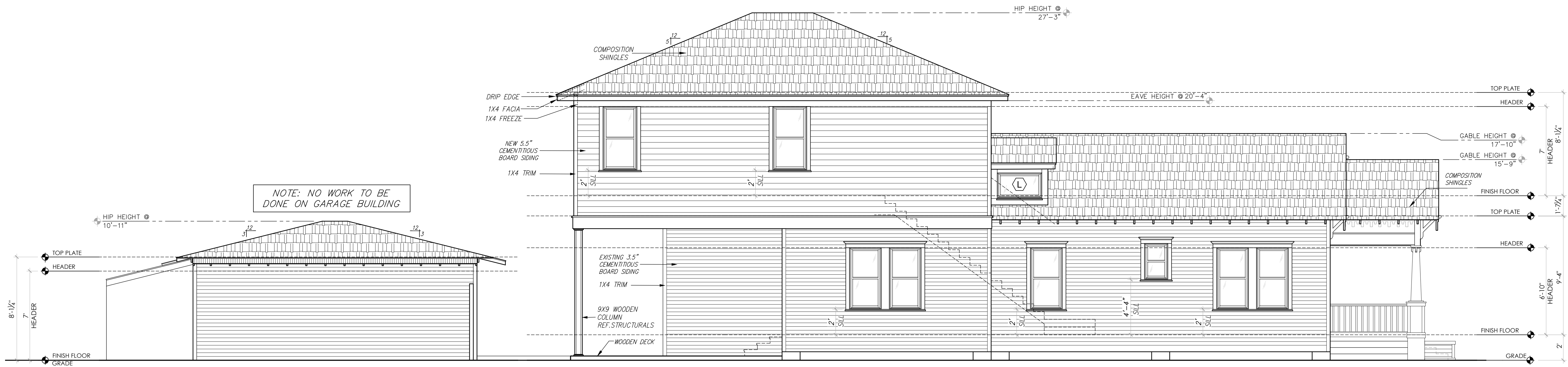
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WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
PROPOSED ELEVATIONS

SHEET NO.
A2.3



NOTE: NO WORK TO BE DONE ON GARAGE BUILDING

PROPOSED
LEFT ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED
FRONT ELEVATION
Scale: 1/4" = 1'-0"

NOTE:
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR
WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR.
OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT
OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER
SPHERE. DEVICES SHALL COMPLY WITH IRC 2012
R613.2 AND MEET ASTM F2090-10 STANDARD.

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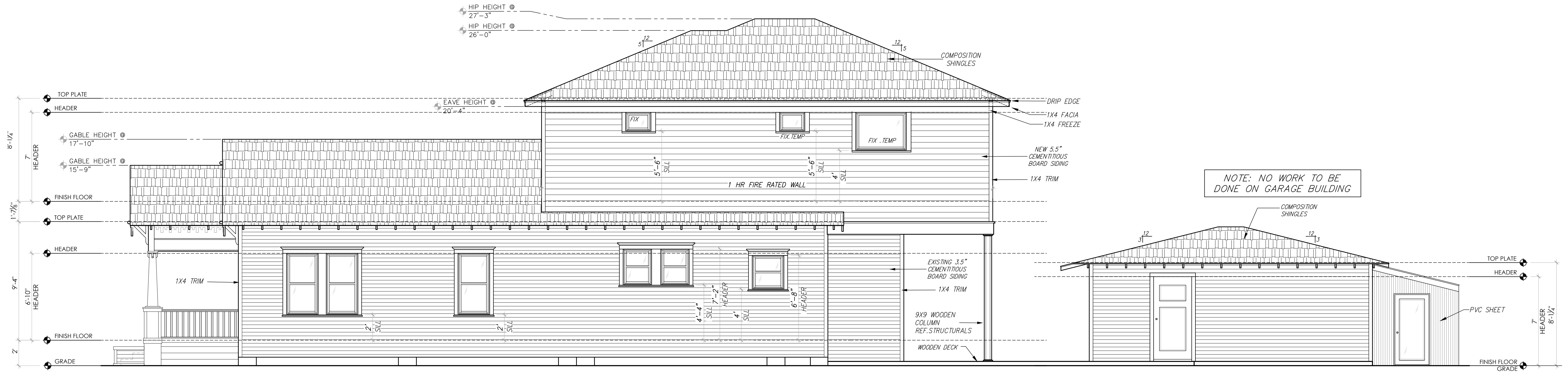
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MARK	DATE	DESCRIPTION	ISSUED FOR

WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
PROPOSED ELEVATIONS

SHEET NO.
A2.4



PROPOSED RIGHT ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"

WALL OPENING CALCULATIONS

WALL	WALL AREA (SQFT)	WINDOW AREA (SQFT)	WINDOW AREA (PERCENTAGE)
NORTH	288	12	4.1%

NOTE:
ALL EXTERIOR WALLS AT 3FT TO 5FT FROM PROPERTY LINE ARE CONSIDERED AND LABELED. REF. ELEVATIONS.
WALL OPENING AREA SHOULD NOT EXCEED 25%.

WALL LESS THAN 5FT TO THE PROPERTY LINE MUST BE 1 HOUR RATED WALL.
REF: DETAIL NO.12 ON D1.1
IRC 2015 R302.1(1)/ R302.4 COMPLIANCE.

NOTE:
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER SPHERE. DEVICES SHALL COMPLY WITH IRC 2012 R613.2 AND MEET ASTM F2090-10 STANDARD.

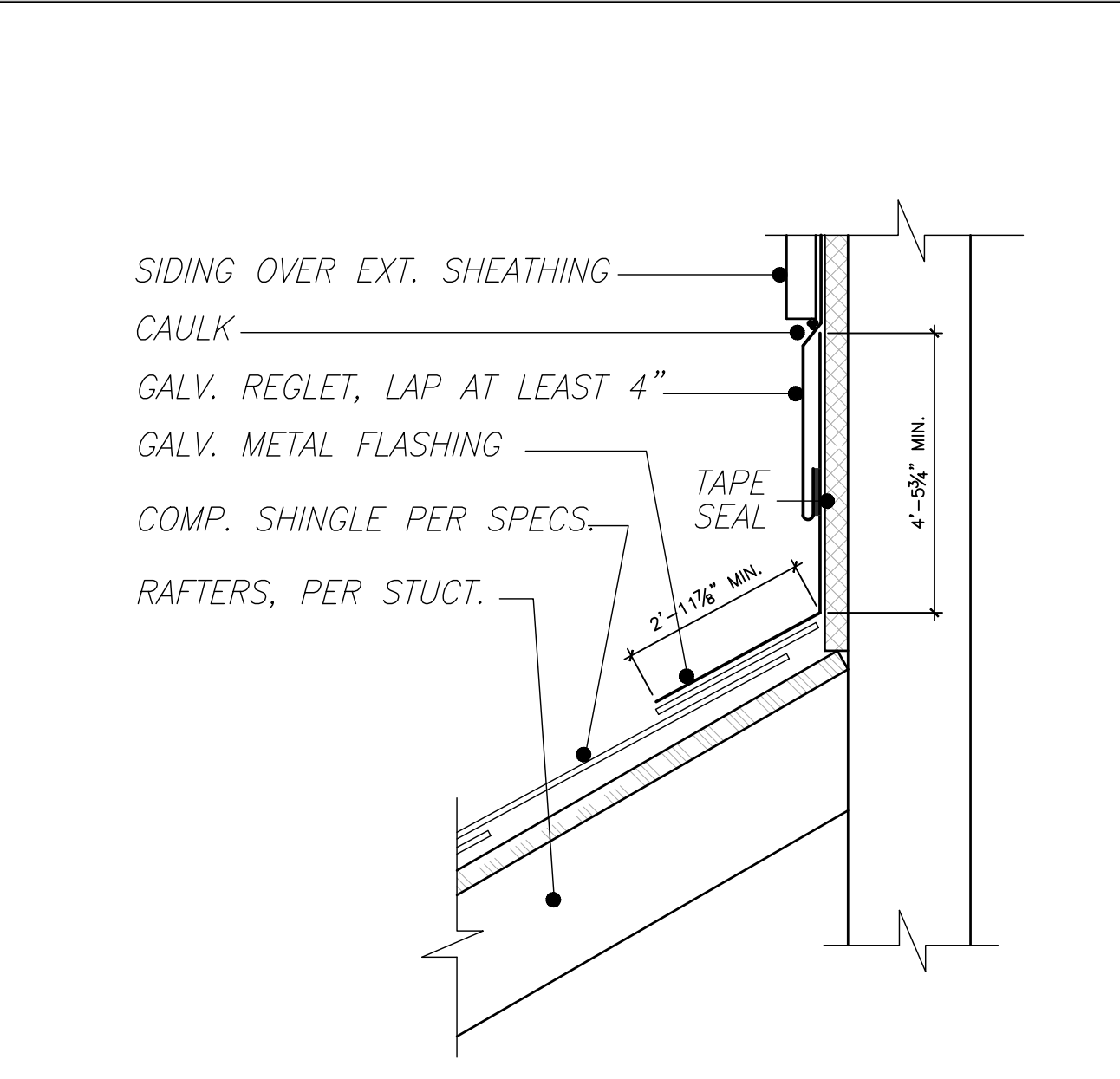
WINDOW AND DOOR NOTES:

- 1) CONTRACTOR SHALL REVIEW ALL DOOR AND WINDOW TRIM AND INSTALLATION DETAILS AND CONDITIONS PRIOR TO ROUGH FRAMING AND CUTTING OPENING.
- 2) CONTRACTOR SHALL NOTIFY CREOLE DESIGN LLC OF ANY FIELD CONDITIONS THAT DO NOT PERMIT THE INSTALLATION OF ANY DOOR OR WINDOW UNIT DUE TO ANY CONFLICTS.
- 3) CONTRACTOR SHALL COORDINATE THE NECESSARY ROUGH OPENING DIMENSIONS FOR THE SPECIFIC WALL ASSEMBLY AND THE DOOR AND WINDOW UNIT FOR INSTALLATION.
- 4) ALL GLAZING SHALL BE INSULATED WITH MULTI-LAYER LOW-E COATED GLAZE.
- 5) CONTRACTOR SHALL COORDINATE INSTALLATION OF FINISH HARDWARE WITH DOOR MANUFACTURER
- 6) ALL GLASS AND GLAZING SHALL CONFORM TO ALL APPLICABLE CODES

NOTES:

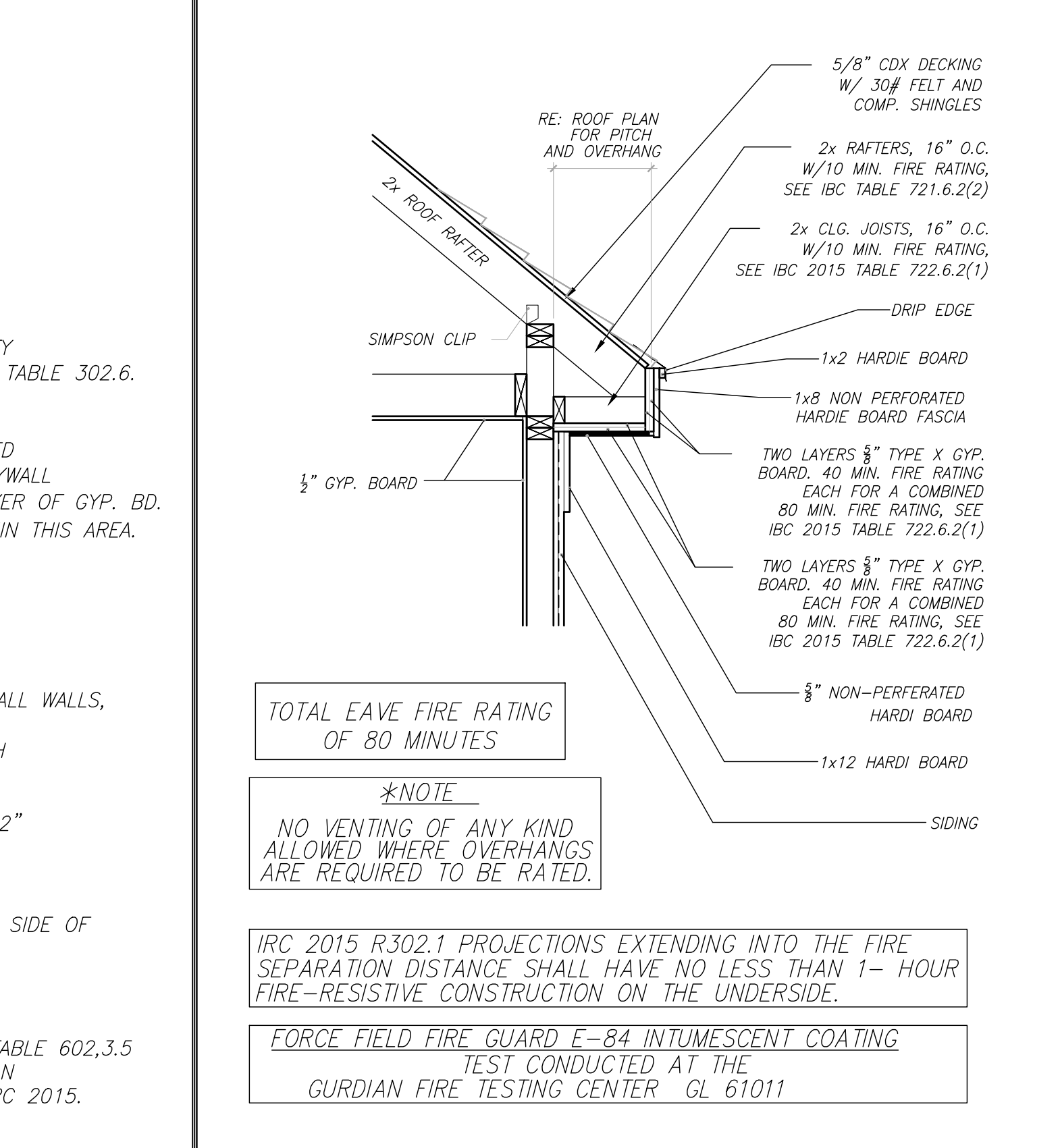
1. ATTIC ACCESS ROUGH OPENING 30"x54". STAIR CAPACITY A MINIMUM OF 350 POUNDS CAPACITY
2. SEPARATION BETWEEN THE RESIDENCE AND THE GARAGE SHALL BE AS REQUIRED BY IRC 2015 TABLE 302.6. INSTALLATION OF NOT LESS THAN A 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. 5/8" TYPE "X" GYPSUM BOARD FOR THE GARAGE CEILINGS BENEATH HABITABLE ROOMS SHALL BE INSTALLED PERPENDICULAR TO THE CEILING FRAMING AND SHALL BE FASTENED AT MAXIMUM 6 INCHES ON CENTER BY MINIMUM 1-7/8" 6d COATED NAILS OR EQUIVALENT DRYWALL SCREWS. (TABLE 702.3.5). WHEN GARAGE AND DWELLING ARE LESS THAN 3 FEET APART, A LAYER OF GYP. BD. NOT LESS THAN 1/2" TO BE APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA. OPENINGS IN GARAGE WALLS NOT FACING THE DWELLING SHALL COMPLY WITH SECTION 302.5.
3. SILL HEIGHT AT BEDROOM WINDOWS SERVING AS EMERGENCY ESCAPE AND RESCUE OPENINGS NOT TO BE MORE THAN 44" HIGH. R310.2 IRC 2015
4. TILE TO BE THIN SET ON APPROPRIATE BACKER BOARD.
5. CONTRACTOR TO PROVIDE ATTIC VENTILATION, MIN. 100 CFM
6. GUTTERS AND DOWNSPOUTS AS REQUIRED
7. AS PER SECTION R302.7 IRC 2015 ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE ALL WALLS, UNDER STAIR SURFACE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
8. WHERE WOOD FRAME WALLS ARE SUBJECT TO WATER SPLASH, FRAMING TO BE PROTECTED WITH WATERPROOF PAPER PER SECTION 703.1.1 IRC 2015.
9. CONTRACTOR TO PROVIDE LINTELS ABOVE ALL OPENINGS WITH BRICK ABOVE
10. SHOWER STALL WALLS TO BE FINISHED WITH NON-ABSORBENT SURFACE TO MIN. HEIGHT OF 72" ABOVE DRAIN INLET PER SECTION R307.2 IRC 2015
11. REFERENCE TABLE R602.3.1 IRC 2015 FOR FASTENER SCHEDULE
12. STRUTS MIN. 2x4 8'-0" MAX. LENGTH MIN 45' FROM HORIZONTAL
13. A LEVEL SERVICE SPACE A MIN. 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG SERVICE SIDE OF APPLIANCE(S) IN ATTIC WHERE ACCESS IS REQUIRED PER SECTION M1305.1.3 IRC 2015
14. EVERY DWELLING UNIT TO HAVE KITCHEN & BATHROOM WITH HOT & COLD RUNNING WATER.
15. EVERY DWELLING UNIT TO HAVE HEATING FACILITIES
16. NOT USED
17. THE SIZE, HEIGHT AND SPACING OF STUDS SHALL CONFORM TO SECTION 602.3.1 IRC 2015, TABLE 602.3.5
18. WHEN WATER HEATER IS LOCATED IN ATTIC, PLACE ABOVE A LOAD BEARING PARTITION IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE INSTALLATION PER SECTION P2803 IRC 2015.
19. NOT USED
20. KITCHEN SINK WITH DISPOSAL.
21. HANDRAILS SHALL BE NO LESS THAN 34" MIN., NO MORE THAN 38" INCHES ABOVE THE NOSING OF TREADS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS PER SECTION R311.7.7 IRC 2015
22. OPEN GUARDRAIL AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER SECTION R311.7.8.1 IRC 2015
23. ALL EXTERIOR WALL AND MAIN CROSS STUDS PARTITIONS SHALL BE EFFECTIVELY BRACED AT EACH END, OR AS NEAR TO END AS POSSIBLE PER R602 IRC 2015
24. PROVIDE FIRE-STOPPING IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS ALONG THE LENGTH OF THE WALL PER SECTION R302 IRC 2015
25. ALL BEDROOM WINDOWS MEET EGRESS REQUIREMENTS AS STATED IN R310.1.1, R310.1.2, R310.1.3 & R310.1.4 IRC 2015
26. ALL WINDOW WELLS TO COMPLY WITH R310.2 IRC 2015
27. SELF CLOSING TIGHT FITTING DOOR 1 3/8" THICK OR A SELF-CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION OF 20 MINUTES BETWEEN THE RESIDENCE AND GARAGE. PER R302.5.1 IRC 2015
28. ATTIC DISAPPEARING STAIRS MAY BE INSTALLED IN THE GARAGE CEILING PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 3/8" THICK FIRE RETARDANT TREATED PLYWOOD OR COVERED WITH A MINIMUM OF 16 GAGE SHEET METAL PER SECTION R807 IRC 2015
29. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT R312.1.1. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS PER SECTION R312.1.2 IRC 2015

SCALE: N.T.S. NOTES

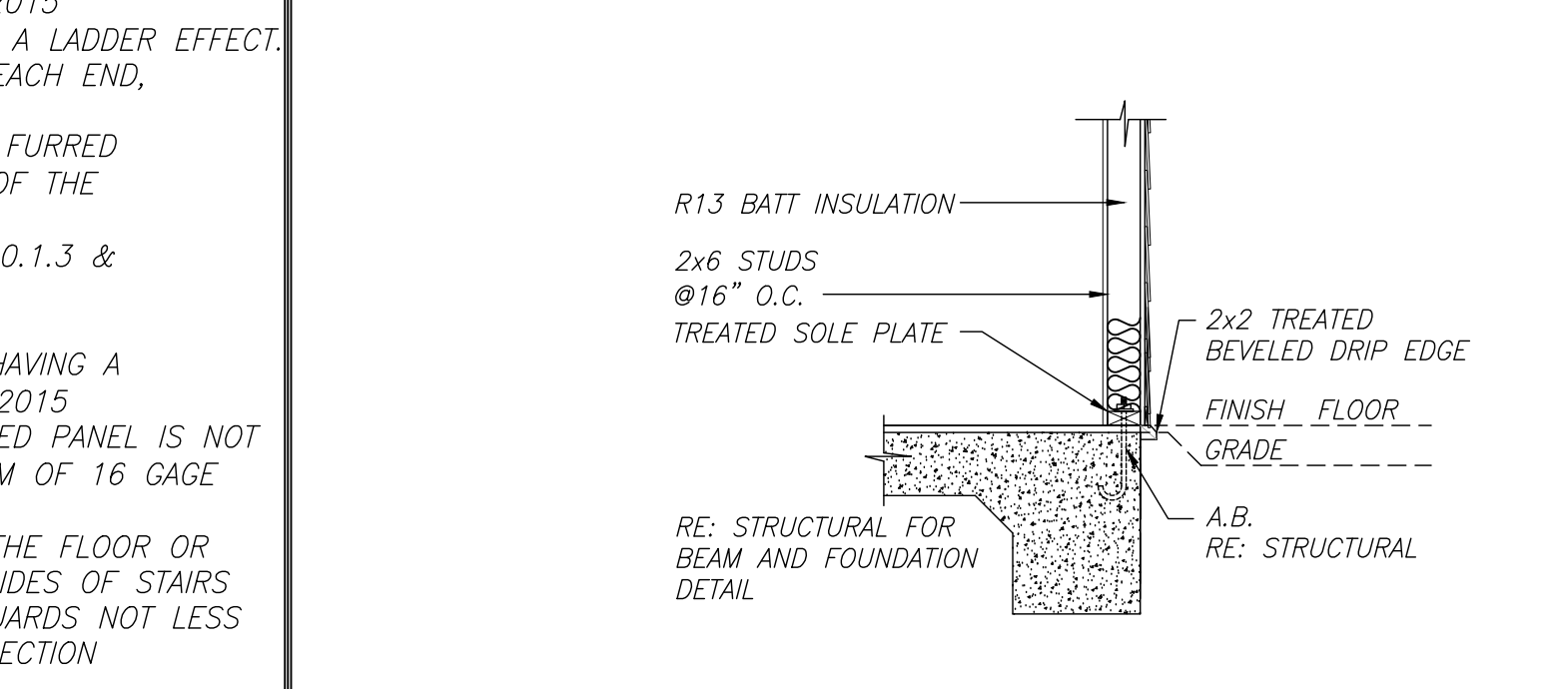


SCALE: N.T.S. FLASHING DETAIL 5

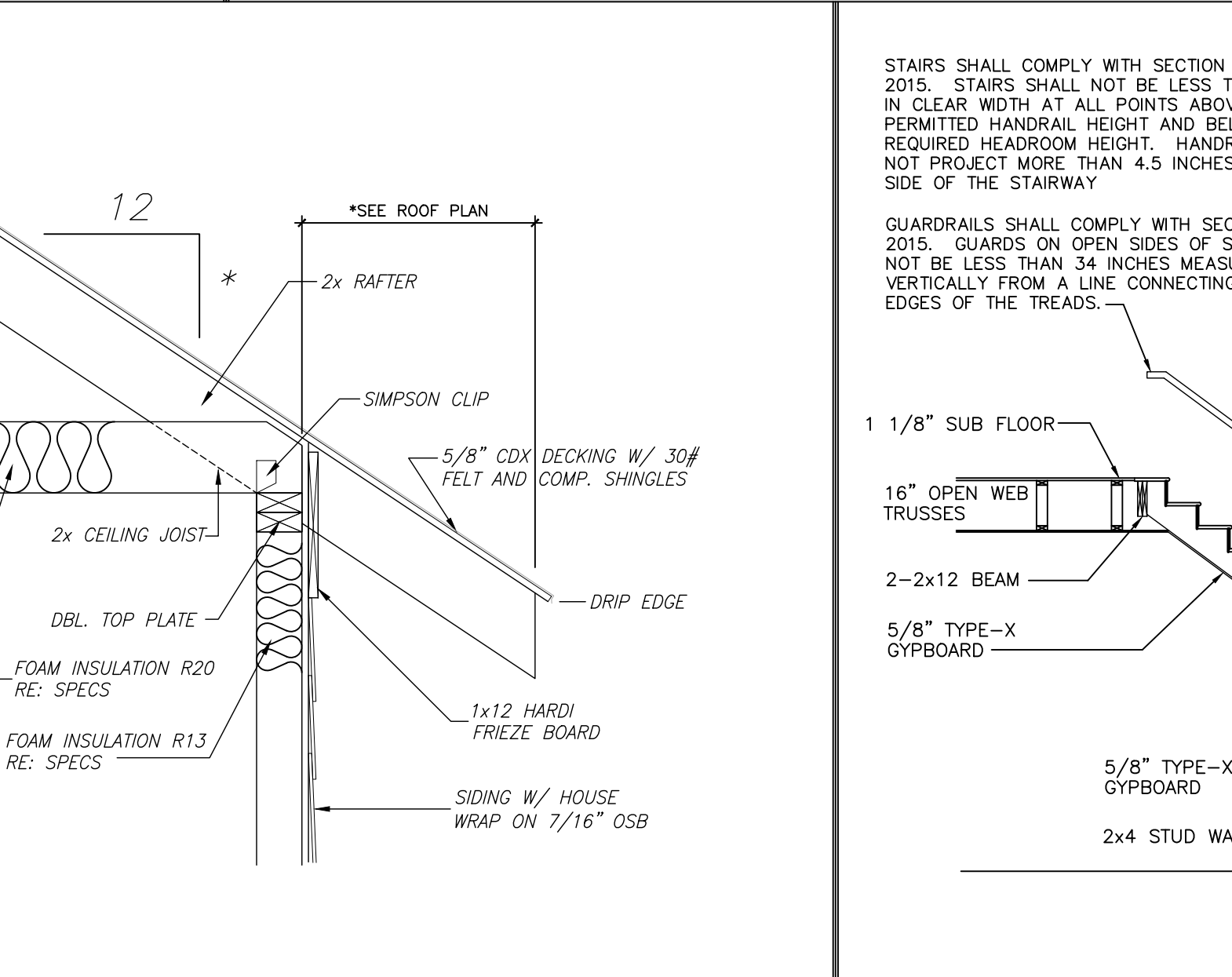
1 HR FIRE RATED EAVE DETAIL



SCALE: N.T.S. FIRE RATED SOFFIT DETAIL

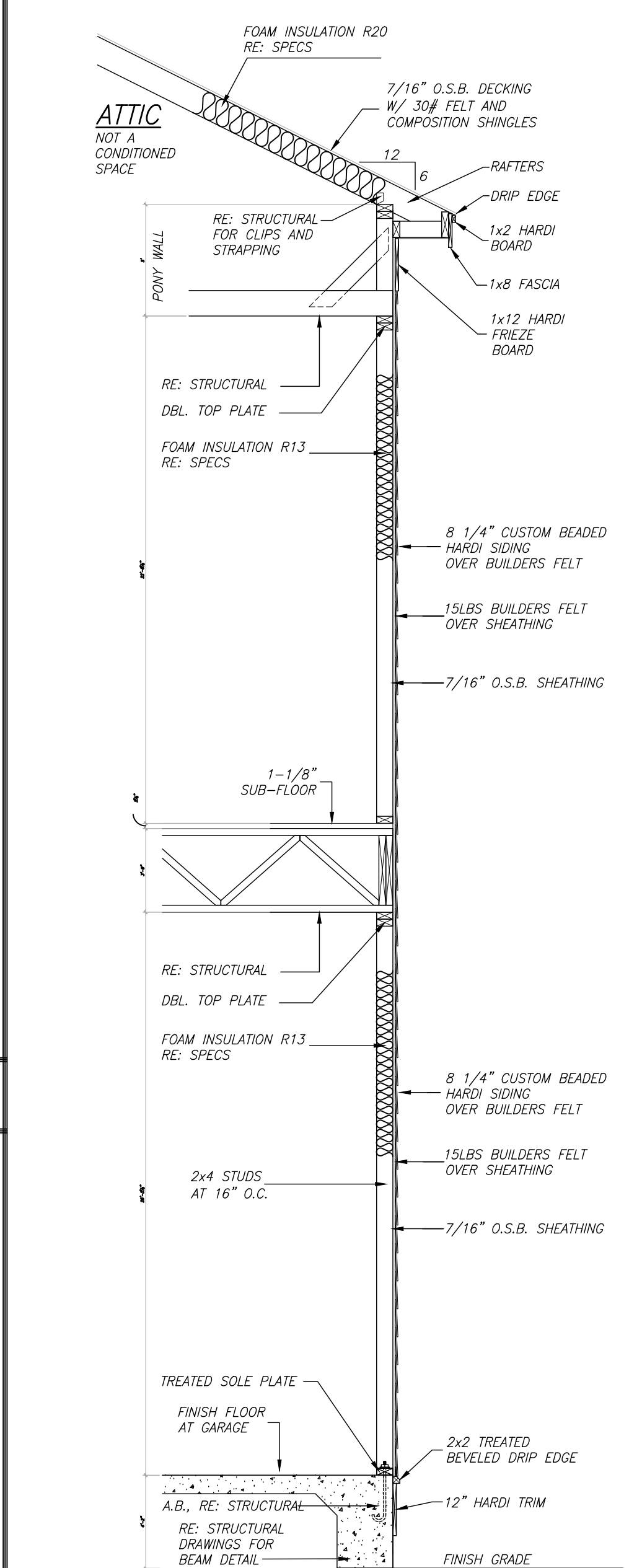


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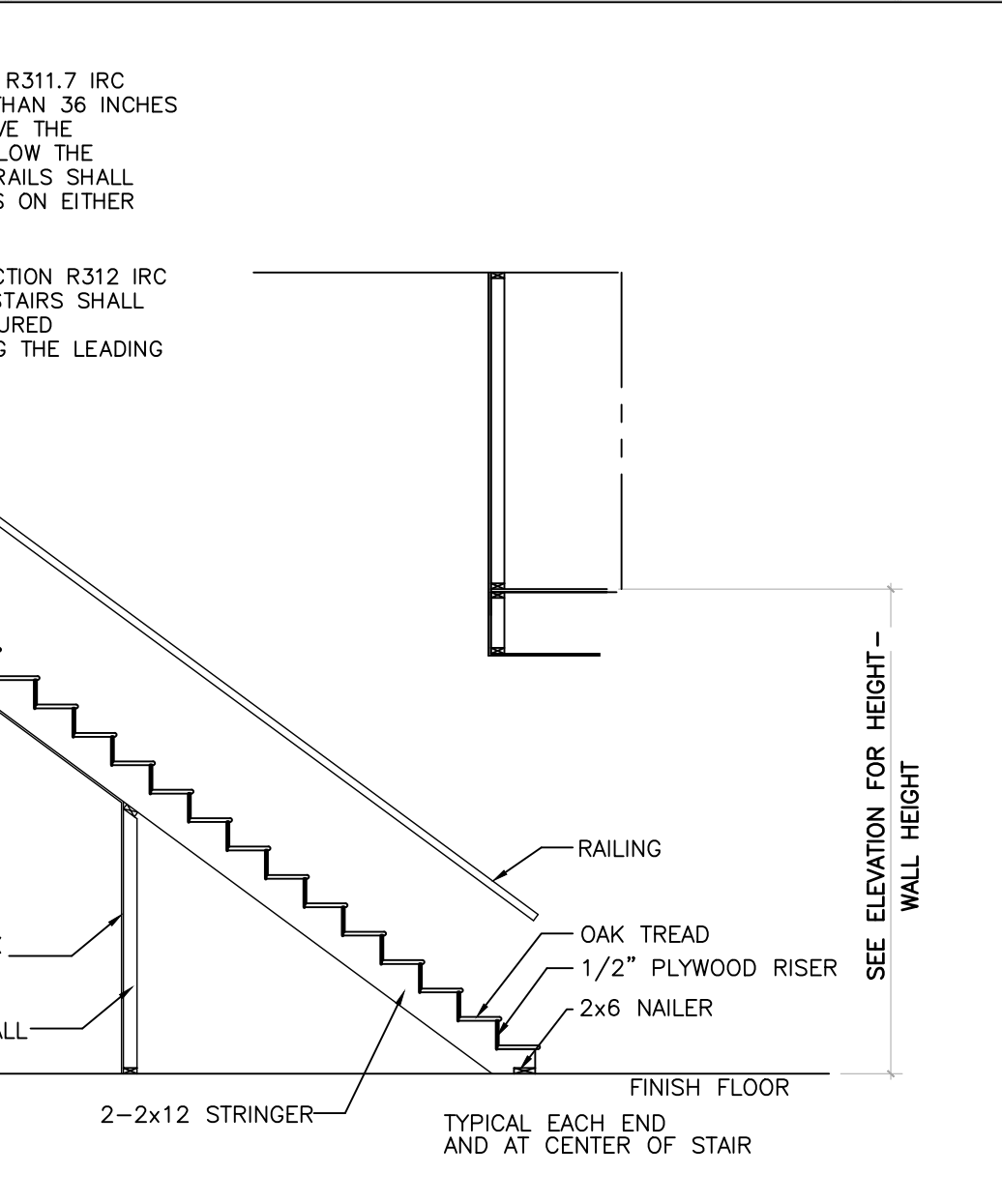


SCALE: N.T.S. EAVE DETAIL 4

1 HR FIRE RATED WALL

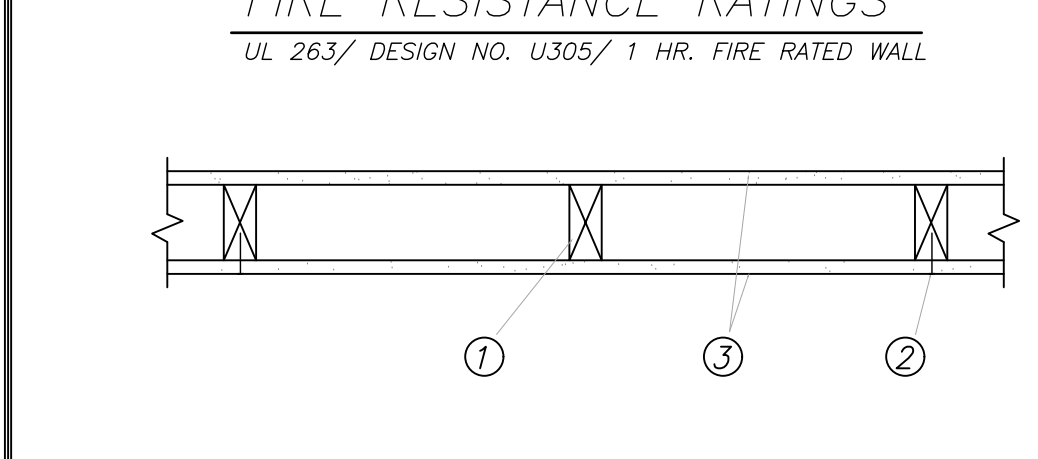


SCALE: N.T.S. WALL SECTION 8

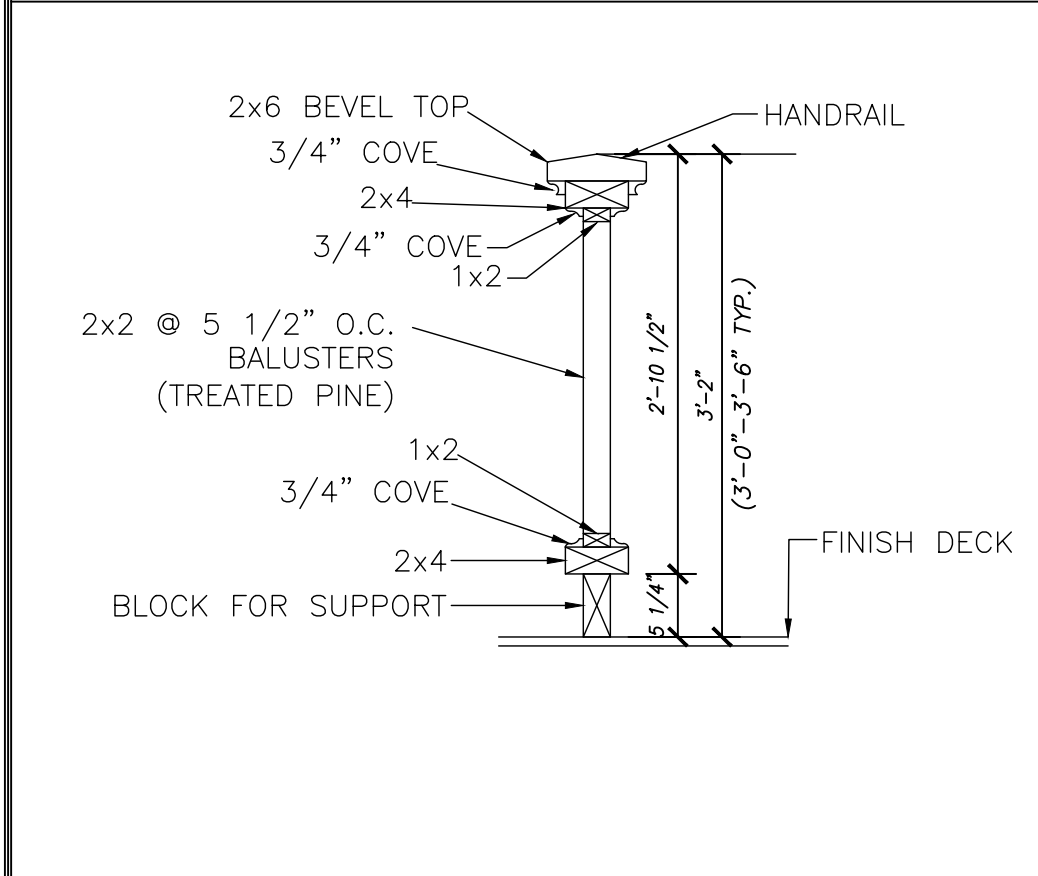


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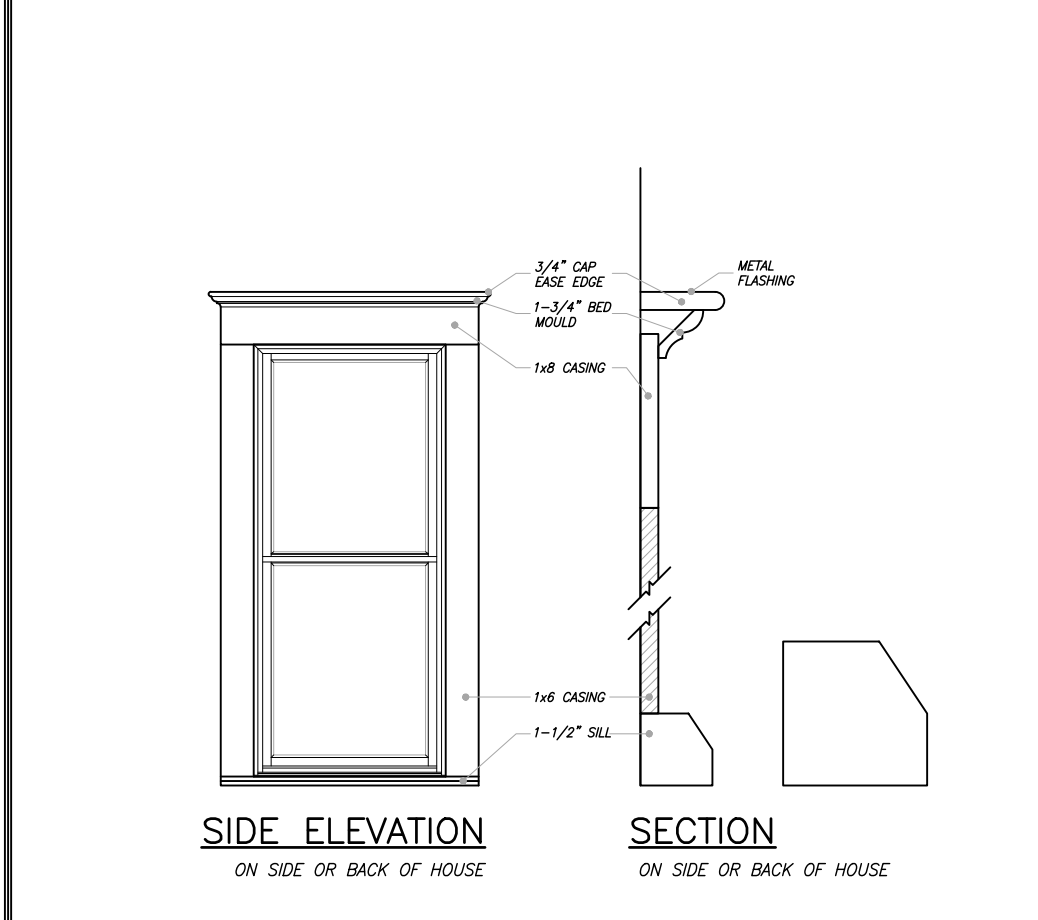
FIRE RESISTANCE RATINGS



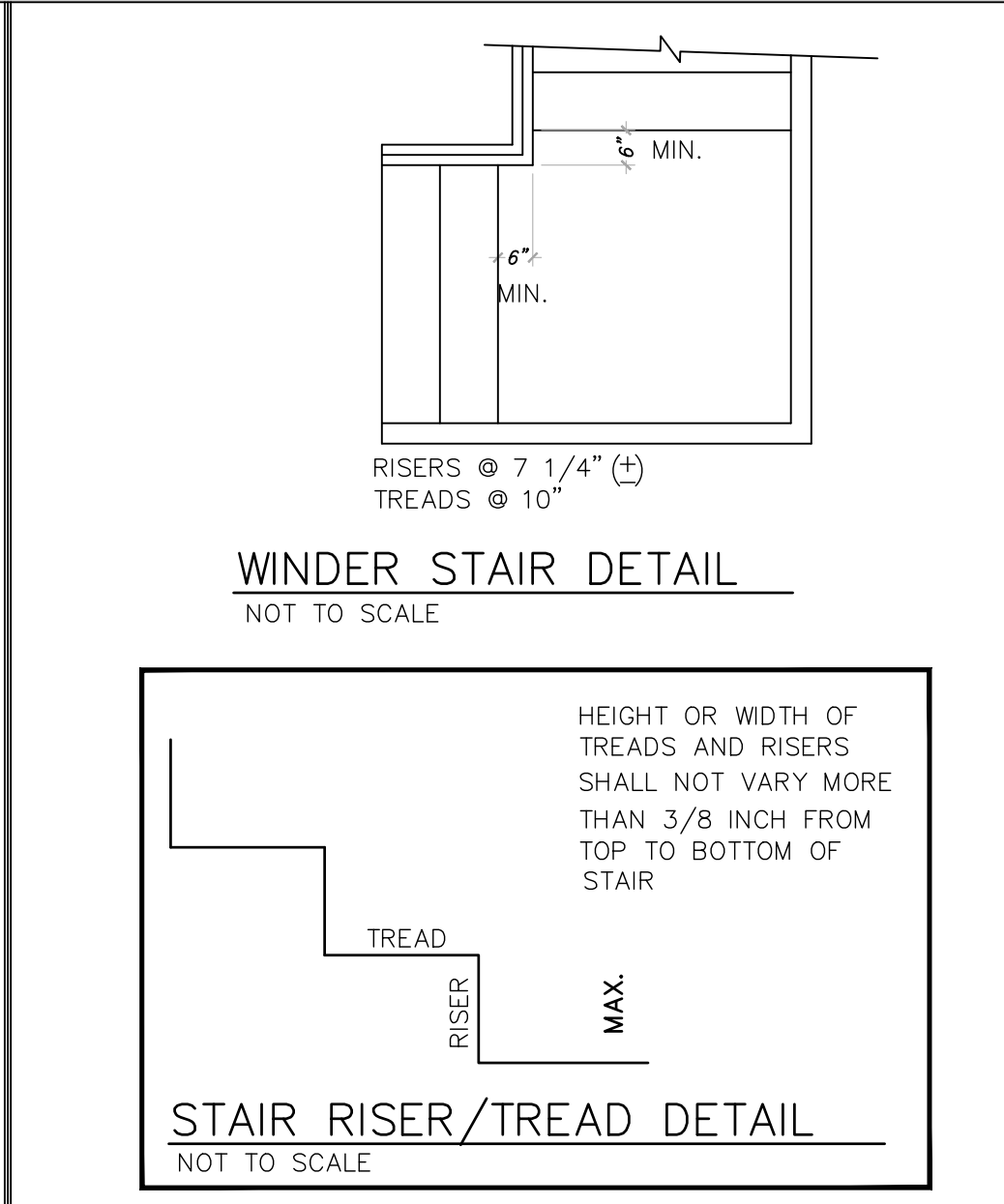
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SCALE: N.T.S. HANDRAIL DTL. 11

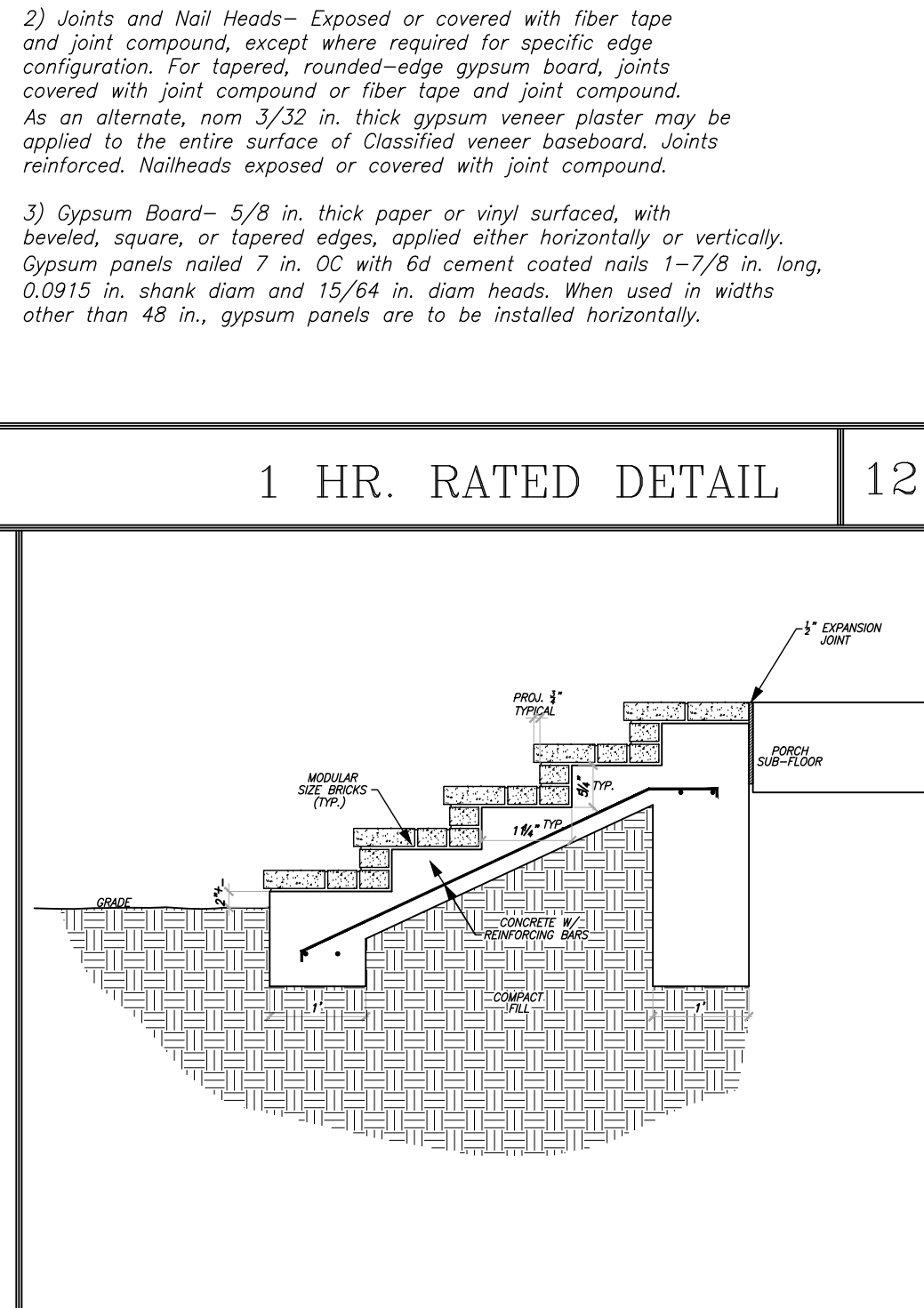


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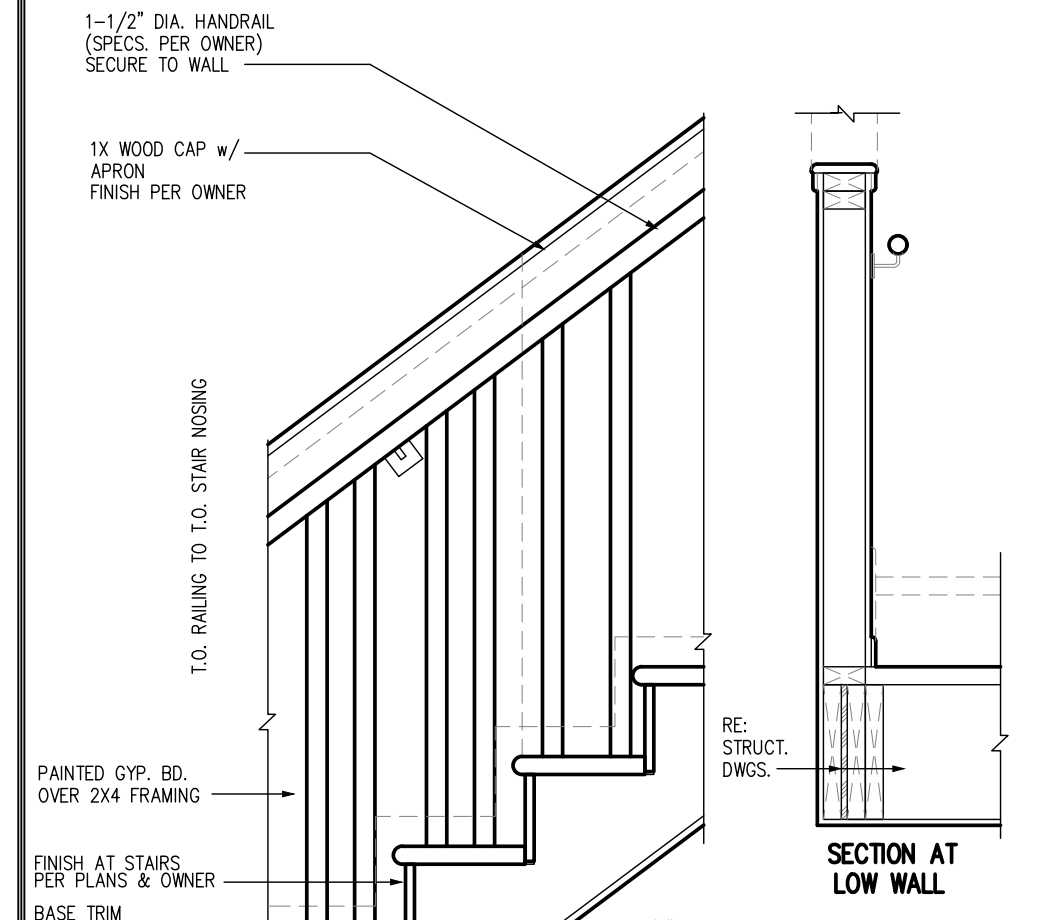


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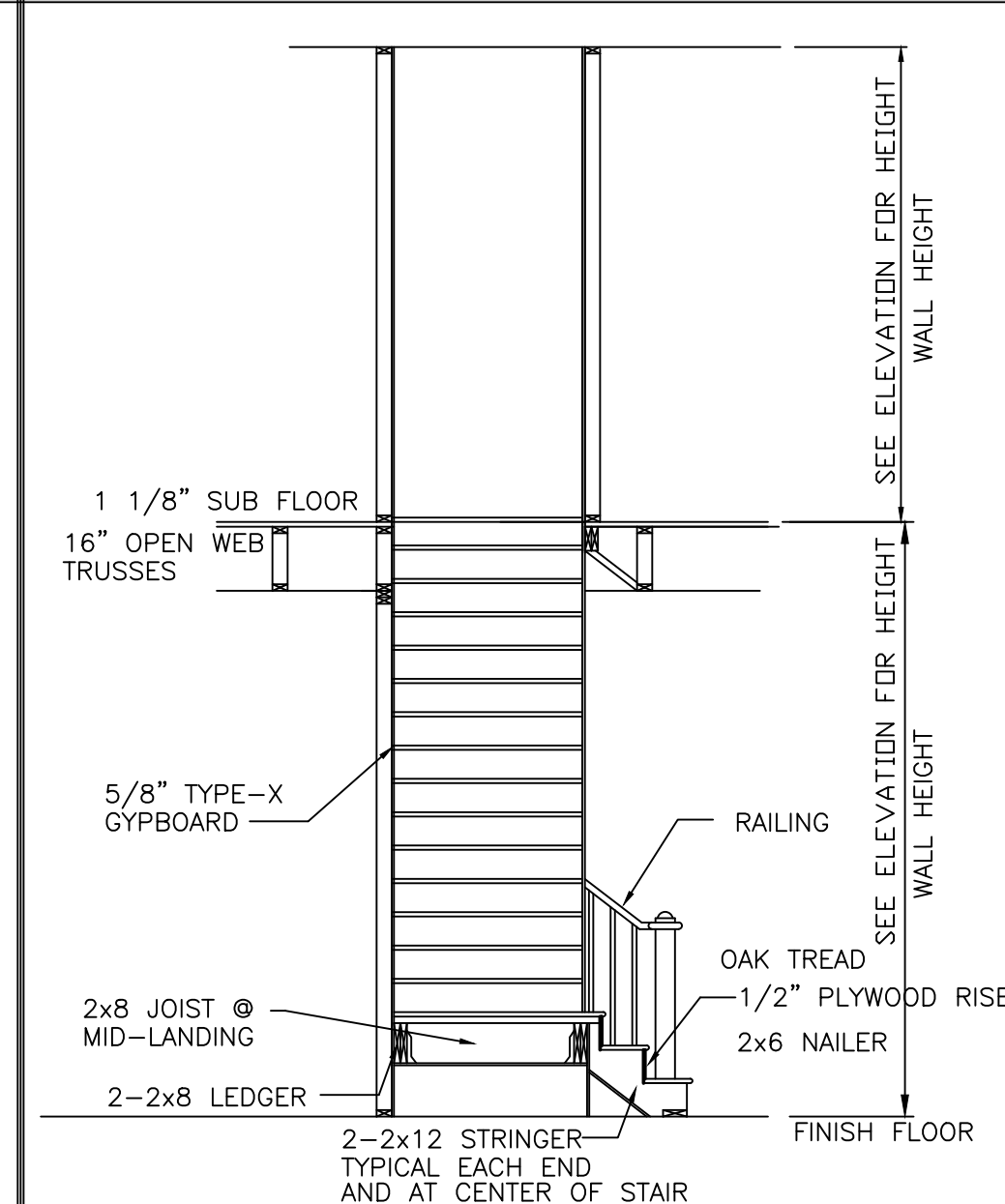
1 HR. RATED DETAIL



SCALE: N.T.S. BRICK STEPS DTL. 10



SCALE: N.T.S. STAIR DETAIL 6



SCALE: N.T.S. STAIR DETAIL 1

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WHITE RESIDENCE
1335 TULANE STREET
HOUSTON, TEXAS

SHEET TITLE
DETAILS

SHEET NO.
D1.1