



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM E21
HPO File #: HP2026_0210

August 13, 2026

1925 Washington Avenue
Old Sixth Ward

Applicant: Colby Johnson, agent for Brian Grendon, owner

Property: 1925 Washington Avenue, Lot 11, Block 426, Baker W R NSBB. The property is a 17,820 square foot two-story commercial structure situated on a 14,902 square foot interior lot.

Significance: Contributing industrial style property constructed circa 1920, located in the Old Sixth Ward Historic District.

Proposal: Alteration – New Signage

The applicant proposes to construct a new LED blade sign at the northwest corner of the property and add painted lettering (tenant name) on the north street facing side of the building, above the main entrance.

- White painted lettering on the exterior surface above the main entry way (2'-0" x 10'-4").
- Blade sign constructed with knot wood exterior, aluminum painted frame, acrylic lettering and Faux Neon LED interior illumination attached to the building's exterior via Hilti anchor bolts (1'-5"x 6'-0").

Public Comment: No public comment received.

Civic Association: No civic association comment received.

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies	D - does not satisfy	NA - not applicable
☒	☐	☐	(1)	The proposed activity must retain and preserve the historical character of the property		
☒	☐	☐	(2)	The proposed activity must contribute to the continued availability of the property for contemporary use;		
☒	☐	☐	(3)	The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;		
☒	☐	☐	(4)	The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;		
☐	☐	☒	(5)	The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;		
☒	☐	☐	(6)	New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;		
☐	☐	☒	(7)	The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;		
☒	☐	☐	(8)	Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;		
☒	☐	☐	(9)	The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;		
☒	☐	☐	(10)	The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and		
☐	☐	☒	(11)	The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.		

OLD SIXTH WARD DESIGN GUIDELINES

☒	☐	☐	In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.
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DISTRICT MAP





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CURRENT PHOTO





CERTIFICATE OF APPROPRIATENESS

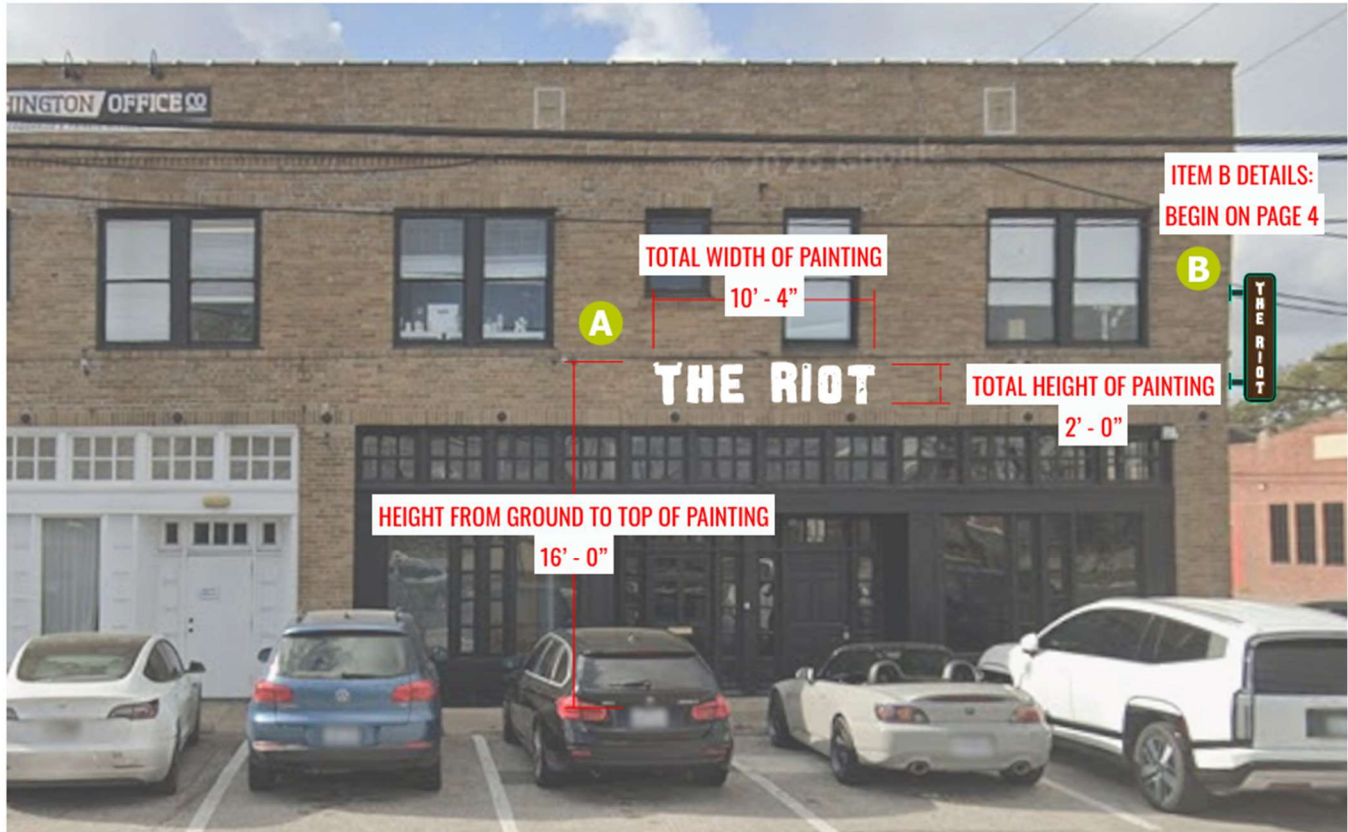
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PROPOSED SIGNAGE ON NORTH (FRONT) ELEVATION





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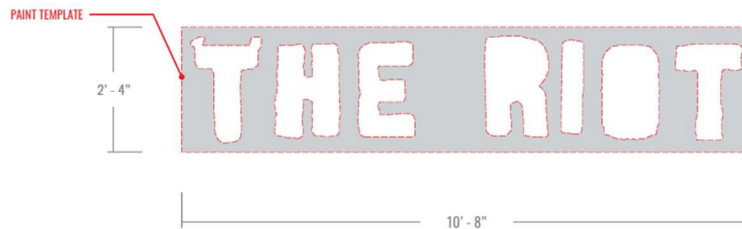
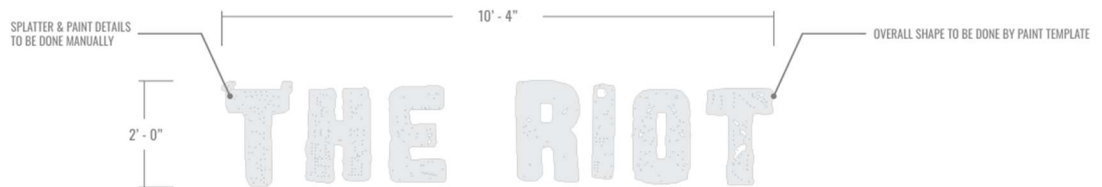
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PAINTED LETTERING ON NORTH (FRONT) ELEVATION DETAILS

ITEM: A - DETAILS	QUANTITY: 1
SCOPE OF WORK: FABRICATE AND INSTALL OF A NEW PAINT TEMPLATE & PAINTED DESIGN	
PAINT COLORS - P1 : SW 7005 - PURE WHITE	



FRONT ELEVATIONS
SCALE PROPORTIONALLY



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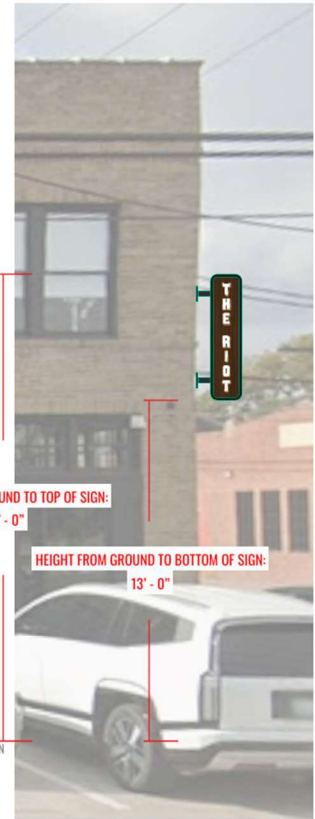
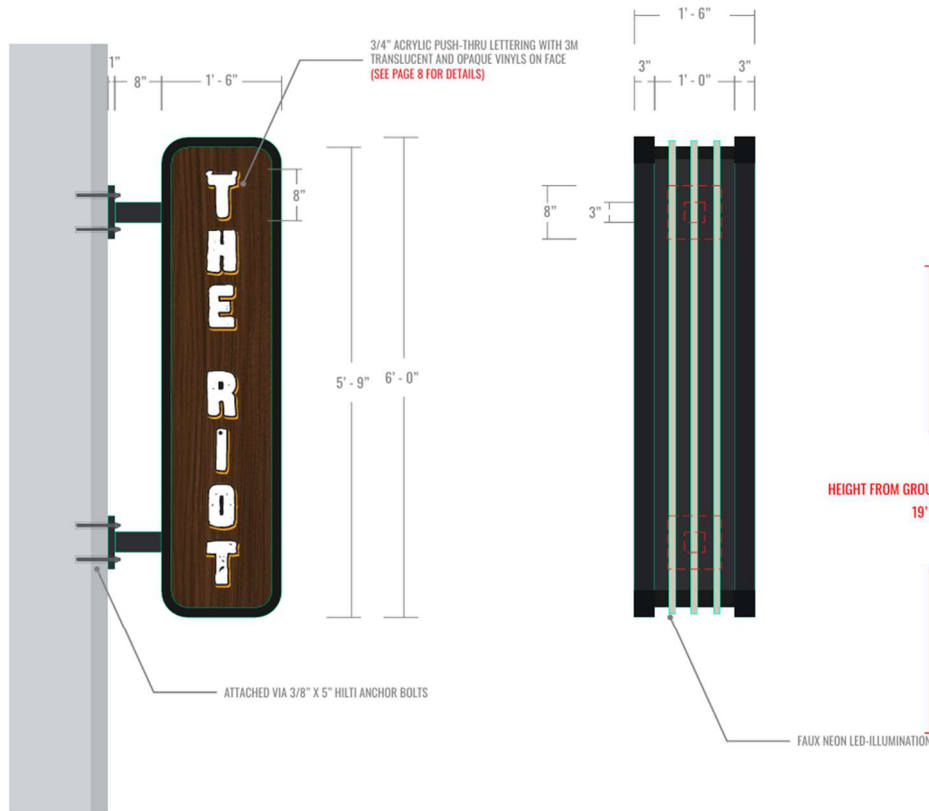
BLADE SIGN (NORTHEAST CORNER) DIMENSIONS & DETAILS

ITEM B - DETAIL

QUANTITY: 1

SCOPE OF WORK:

FABRICATE AND INSTALL OF NEW WALL PAINT AND PAINT TEMPLATE





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BLADE SIGN (NORTHEAST CORNER) MOUNTING DETAILS

DETAILS PAGE	QUANTITY: 1
SCOPE OF WORK : DRAWINGS FOR PREVIOUSLY REFERENCED DETAILS	

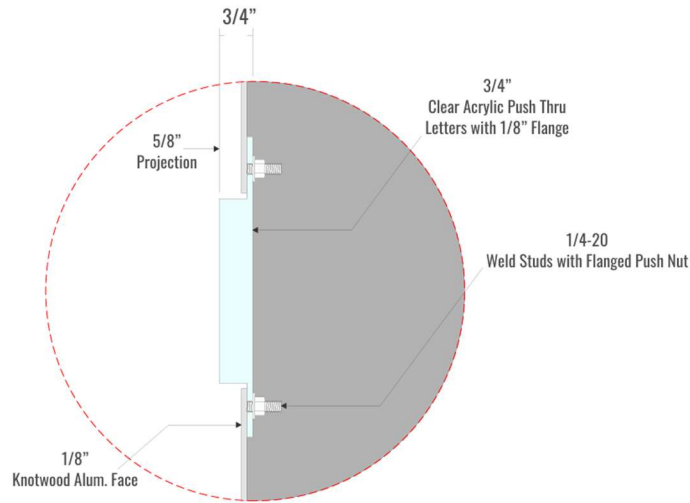
8 of 10

ARIA
SIGNS & DESIGN
+Architectural Products

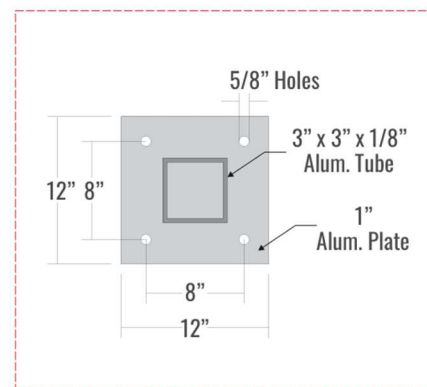
WWW.ARIASIGNS.COM

713-259-3737
SALES@ARIASIGNS.COM

14409 REEVES RD
HOUSTON, TX. 77039



DETAIL 1 (PUSH-THRU LETTERING)
SCALE PROPORTIONALLY



DETAIL 2 (BASE PLATE)
SCALE PROPORTIONALLY



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BLADE SIGN (NORTHEAST CORNER) LIGHTING DETAILS

ITEM: E - DAY

QUANTITY: 1

SCOPE OF WORK :
FABRICATE AND INSTALL OF A NEW LED & NEON ILLUMINATED BLADE SIGN

PAINT COLORS/MATERIALS

- P1 : MP 33348 - BLACKSTONE
- P2 : KNOTWOOD - WESTERN RED CEDAR

VINYL COLORS

- V1 : 3M 190C-12 BLACK
- V2 : 3M 3630-25 SUNFLOWER

ELECTRICAL REQUIREMENTS
ONE DEDICATED CIRCUIT 120V 20 A
LOAD : 6.0 AMP

EXISTING SIGNAGE

PUSH-THRU ILLUMINATED ACRYLIC LETTERS WITH V1 & V2 VINYL ON FACE

KNOTWOOD APPLIED TO SIGN FACE

FAUX NEON LED-ILLUMINATION

ALUMINUM BLADE SIGN BODY PAINTED P1



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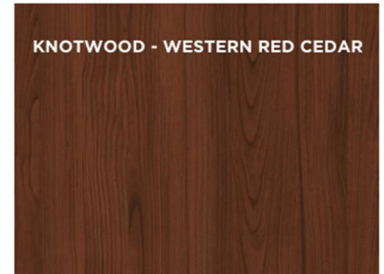
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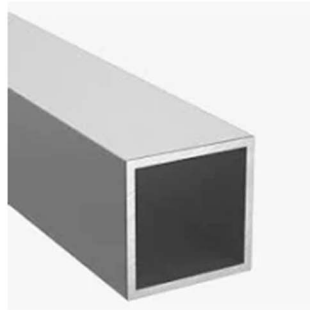
BLADE SIGN (NORTHEAST CORNER) MATERIALS

MATERIALS NAME	QUANTITY
SCOPE OF WORK :	
SPECS PREVIOUSLY REFERENCED MATERIALS	

91



3/8" X 5" HILTI BOLTS



1.5" X 1.5" X 1/8" ALUMINUM TUBE/ANGLE



3/4" CLEAR ACRYLIC

THE RIOT COMEDY CLUB:
1925 Washington Ave, Houston, TX 77007



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OLD SIXTH WARD DESIGN GUIDELINES: SIGNAGE

Recommendations for specific sign types are as follows:

- a. **Building Signage:** The developer of a building may give the building a name, or the major tenant of the building may place its name on the building, according to the following specifications:

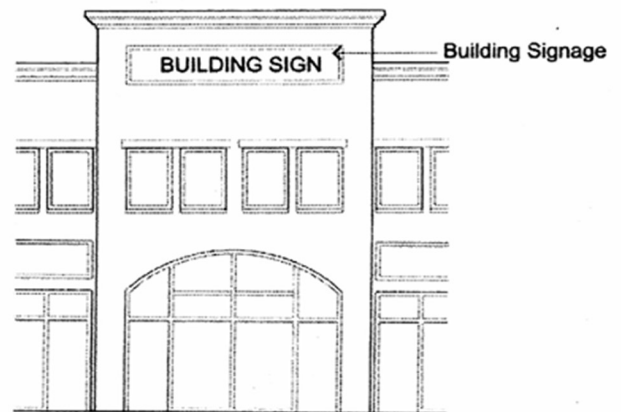
- 1) **Placement:**
 - (a) Sign should be placed near the top of the building.
 - (b) Sign should be placed above upper floor windows.
 - (c) Sign is to be mounted directly on the wall surface, and the background must be the building wall.
 - (d) Sign must face a public street.
 - (e) Signage may be placed on a maximum of two building sides.
 - (f) Signs may be cut or carved.
 - (g) No roof signs are permitted.
- 2) **Dimensions:**
 - (a) A maximum of 20 square feet for each sign is permitted.
 - (b) Lettering may be a maximum of 16".
 - (c) Sign may include a logo, which will be counted toward total square feet.
- 3) **Letter materials:**
 - (a) Sign may be metal, stone, wood, paint, carved, or plaster. No plastic letters are permitted.

- 4) **Lighting:**

- (a) Front-lit signs (illuminated by an external light source) are acceptable. No backlit or channel cut lighting permitted.

- 5) **Other provisions:**

- (a) No neon signs are permitted.
- (b) Signs shall be static; no rotating, electronic, or digital signs are appropriate.
- (c) Inclusion of a numerical date is optional.





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OLD SIXTH WARD DESIGN GUIDELINES: SIGNAGE (CONTINUED)

b. Sign Band. This type of sign is intended primarily for retail uses at street level to draw the attention of pedestrians and drivers.

1) Placement:

- (a) Sign should be mounted on the building face between the first and second floor window openings.
- (b) Sign should be integrated with the composition of the façade.
- (c) Background may be the building wall or "backboard".
- (d) Profile of the sign should be essentially flush.
- (e) Bottom edge of sign should be located a minimum of 10' above sidewalk.

2) Dimensions:

- (a) Backboard and overall band width is limited to 60% of bay width.
- (b) Backboard may have a maximum height of 24".
- (c) Letters may have a maximum height of 18".

3) Letter or backboard materials:

- (a) Sign may be metal, stone, wood, paint, carved, plaster, or plastic; cabinet signs are not permitted.

4) Lighting:

- (a) Front-lit signs (illuminated by an external light source) are acceptable.

5) Other provisions:

- (a) No neon signs are permitted. Consistency of the sign bands in a single building is recommended.





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OLD SIXTH WARD DESIGN GUIDELINES: SIGNAGE (CONTINUED)

- c. Bracket Signs. These may be used in place of a sign band, or in addition to a sign band if located in an arcade or if the bracket sign is not in conflict with the sign band. Bracket signs may include symbols such as barber poles.

1) Placement:

- (a) Sign must be perpendicular to the principal building façade.
- (b) Sign may be held by brackets, cantilevered, or suspended under a canopy.
- (c) Sign placement must allow a minimum sidewalk height clearance of 8'.
- (d) For residential buildings converted to commercial use, a sign panel hanging from the porch beam is acceptable.

2) Dimensions:

- (a) Sign may be a maximum of 6 square feet.
- (b) Bracketed signs may project a maximum of 48" from the building face but may not project over a public right-of-way.
- (c) Double-sided signs are permitted.
- (d) Letters may have a maximum height of 10".
- (e) Logos or artwork may be a maximum of 18" in any dimension.

3) Materials:

- (a) Sign may be metal and/or wood.

4) Lighting:

- (a) Externally projected lighting is permitted.

5) Design:

- (a) A logo may be included on the face of the sign.

6) Other provisions:

- (a) No neon signs are permitted.
- (b) Any signage that is approved as appropriate but encroaches over a public right-of-way must obtain a license agreement from the Finance & Administration department.

