



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM E20
HPO File #: HP2026_0207

August 13th, 2026

425 Columbia St
Houston Heights South

Applicant: Alia De Anda, agent for Christopher Fisher, owner

Property: 425 Columbia St., Lot 5 & 6, Block 304, Houston Heights Neighborhood Subdivision. The property is a 2,364 SF lot one-story residential structure on a 13,200 square foot interior lot.

Significance: This property is a modern residence, non-contributing structure, constructed circa 1965 in the Houston Heights South Historic District.

Proposal: Addition – two story detached garage apartment facing a 15' back alley

The applicant proposes to construct a two-story garage apartment to be connected to the main house through a breezeway

- Scope of work: 2 story garage ONLY, the main structure is under C.O.A. HP2026_0145
- 1st floor garage: 562 sq. ft.
- 2nd floor garage: 572 sq. ft.
- Side patio: 224 sq. ft.
- Proposed eave height: 18' 8'
- Proposed first floor plate height: 9'
- Proposed 2nd floor plate height: 9'
- Addition to the structure will be using like-for-like materials

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -



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NEW CONSTRUCTION IN A HISTORIC DISTRICT

S **D** **NA** **S** - satisfies **D** - does not satisfy **NA** - not applicable

- (b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

☒ ☐ ☐ In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA

S - satisfies D - does not satisfy NA - not applicable

☒ ☐ ☐

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 1,419

☒ ☐ ☐

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,903



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Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

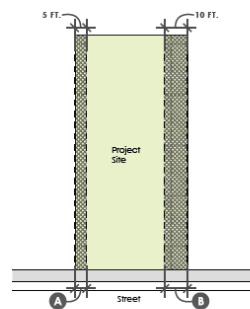
Side Wall Length: N/A

Inset on East side: N/A

Inset on West side: N/A

☒ ☐ ☐

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback: 10' 0"

Proposed side setback: 5'

Cumulative side setback: 15' 0"



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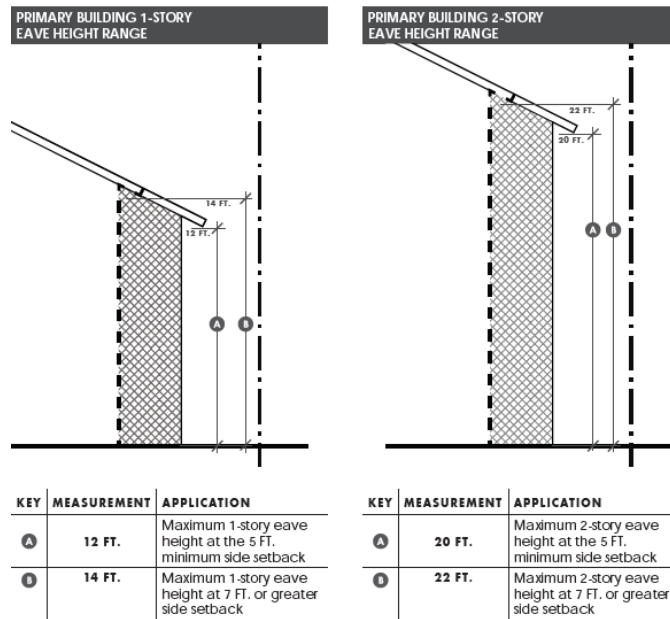
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Eave Height (Addition and New Construction)

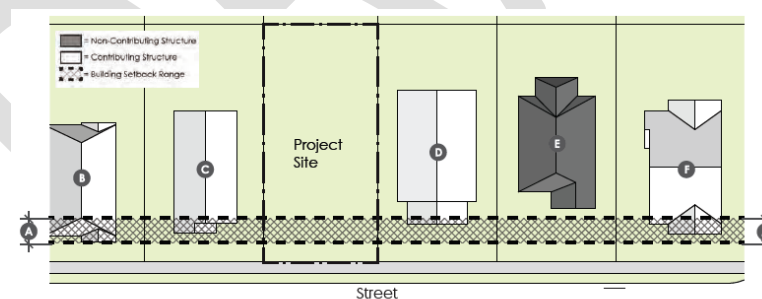


Proposed eave height: 18' 8"

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Front Setbacks (New Construction)

The setback is the distance from the property line to the front wall, porch, or exterior feature.



If applicable:	Front Setback of Contributing Neighbors (must be in same historic district)
#1	15' (402 E 18th)
#2	10'2" (401 E 18th)
#3	17' (412 E 18th)

KEY	MEASUREMENT	APPLICATION
A	RANGE	Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area.

Proposed front setback: N/A



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Front Wall Width and Insets (New Construction)

MEASUREMENT	APPLICATION
30 FT.	Maximum front wall width before inset
4 FT.	Minimum width of inset section of front wall
40 FT.	Maximum width of 1-story building for lots <= 50 ft wide
35 FT.	Maximum width of 2-story building for lots <= 50 ft wide
50 FT.	Maximum width of building for lots > 50 ft wide

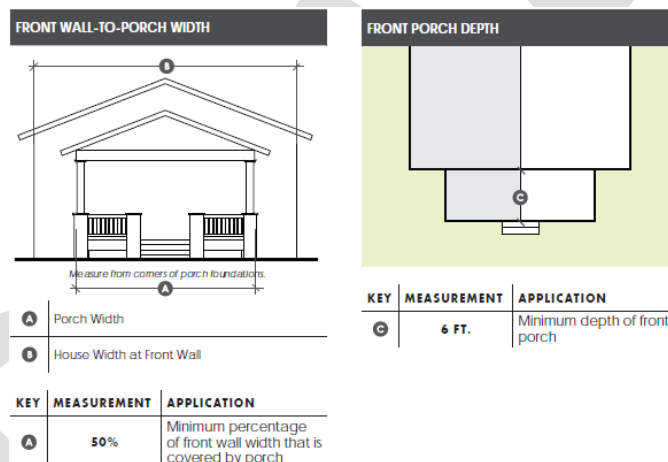
Max front wall width: N/A

Max front wall depth: N/A

☐ ☐ ☒

Front Porch Width and Depth (Addition and New Construction)

The width of a porch is measured between the corners of the porch foundation at the front of the porch. A front porch must be at least 6' deep.



Proposed front porch width: N/A, Proposed front porch depth: N/A

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Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed porch eave height: N/A



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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: N/A (SLAB ON GRADE)

Proposed first floor plate height: 9'

Proposed second floor plate height: 9'



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DISTRICT MAP



425 COLUMBIA ST.



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CURRENT PHOTOS





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PHOTOS CONTINUED



RIGHT/NORTH



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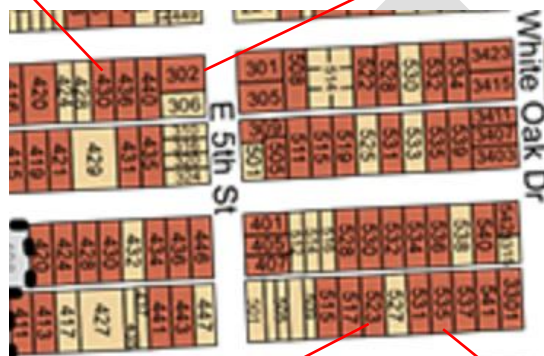
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CONTEXT AREA





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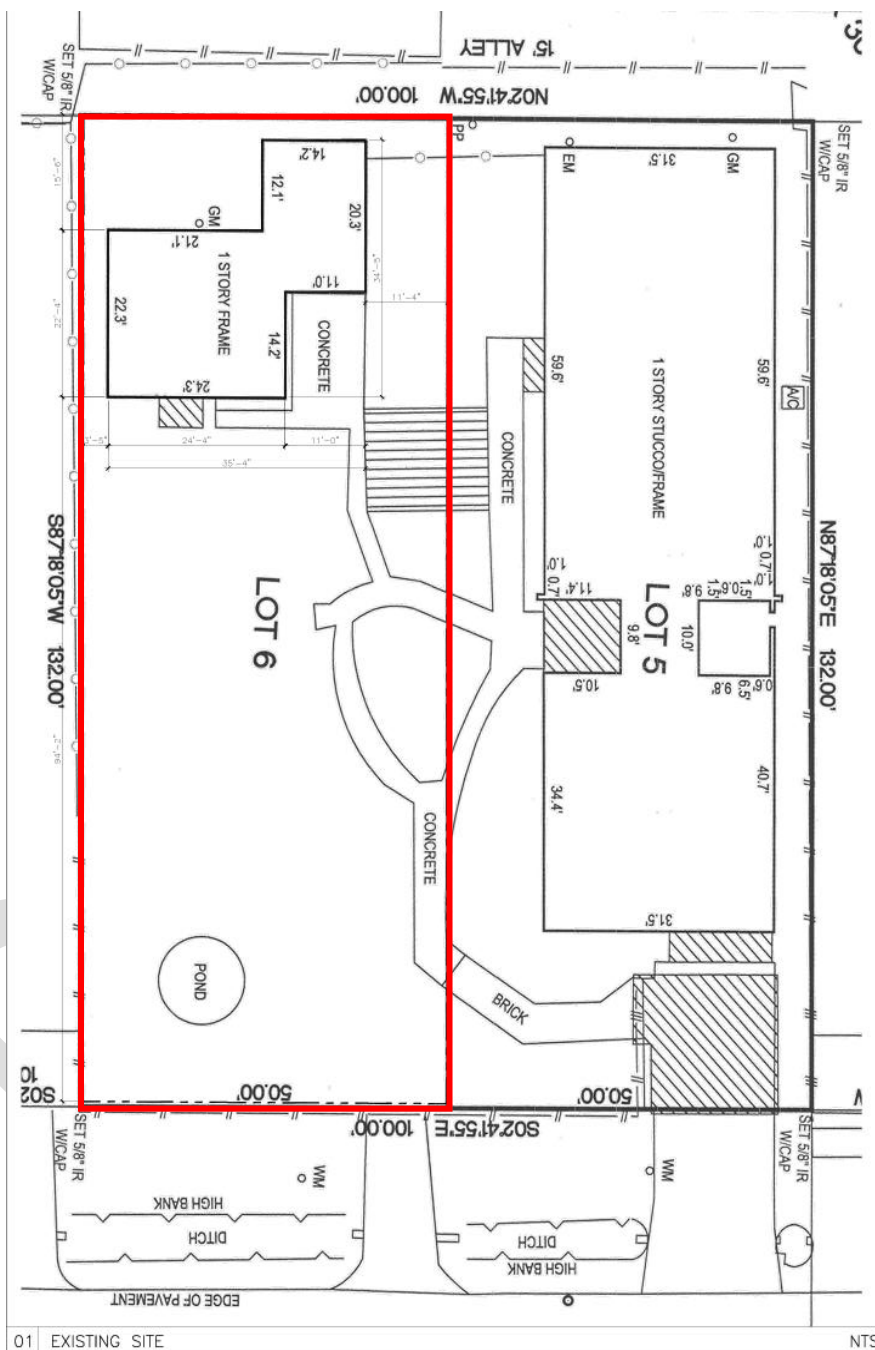
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EXISTING SITE PLAN





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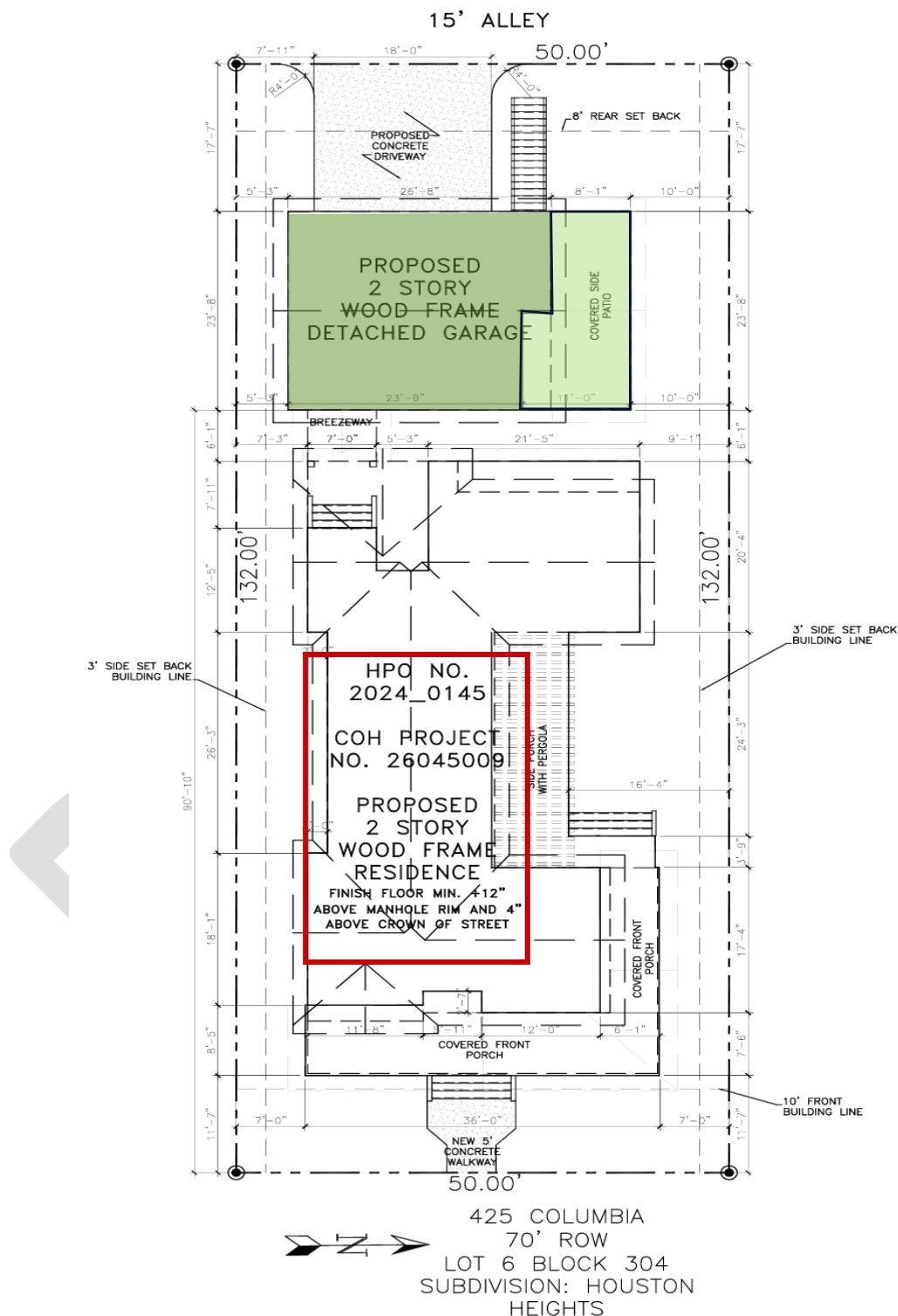
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PROPOSED SITE PLAN





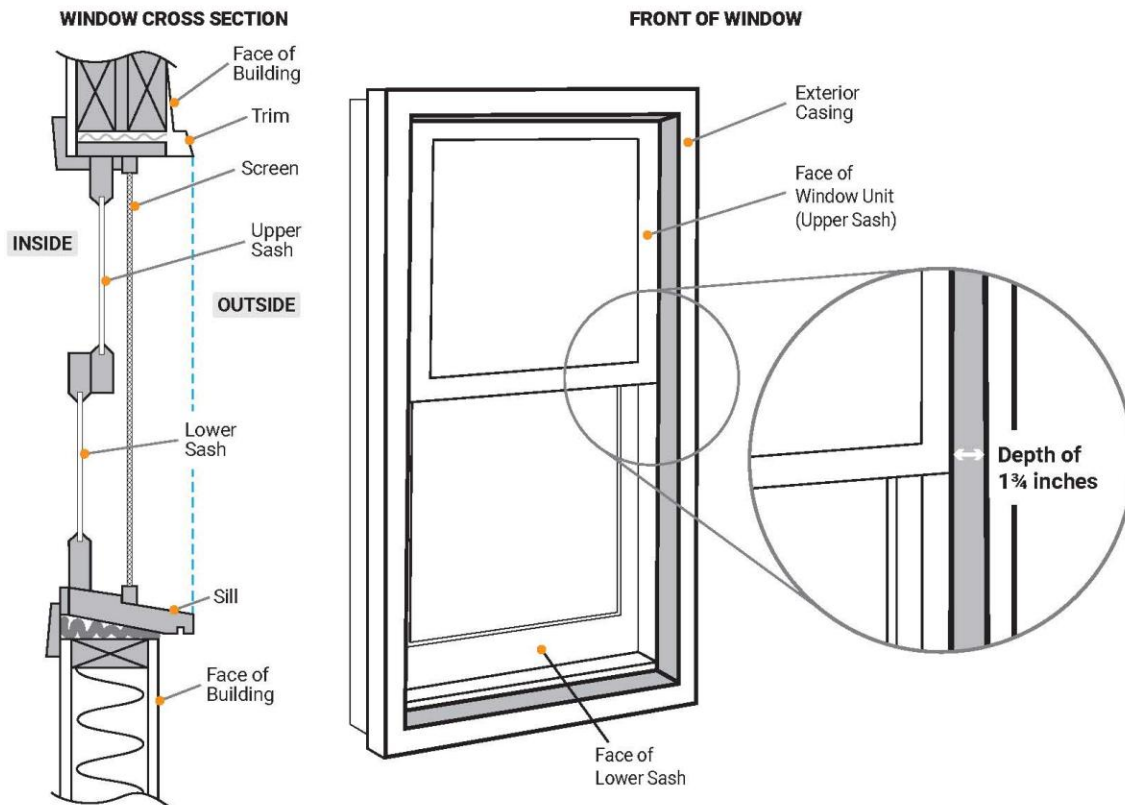
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Historic Window Standard: New Construction & Replacement



Minimum 1 $\frac{3}{4}$ inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 $\frac{3}{4}$ inch minimum inset for Fixed Window

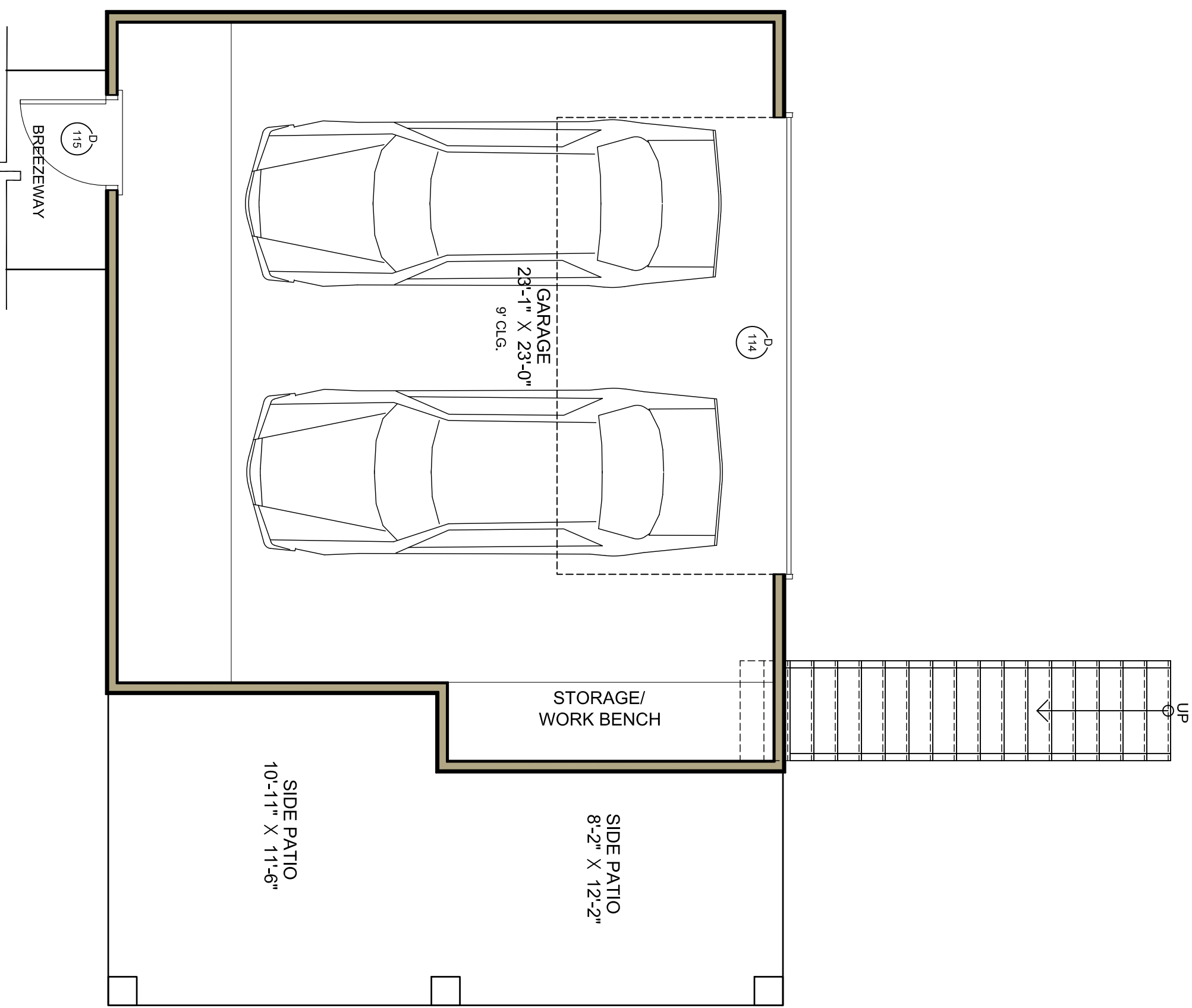
For more information contact: Houston Office of Preservation

☎ 832-393-6556

✉ historicpreservation@houstontx.gov

- PROPOSED INTERIOR WALL 2X4
- PROPOSED INTERIOR WALL 2X6
- PROPOSED EXTERIOR WALL 2X4, SIDING
- GUARD RAIL RE A4.1

05 WALL TYPES LEGEND



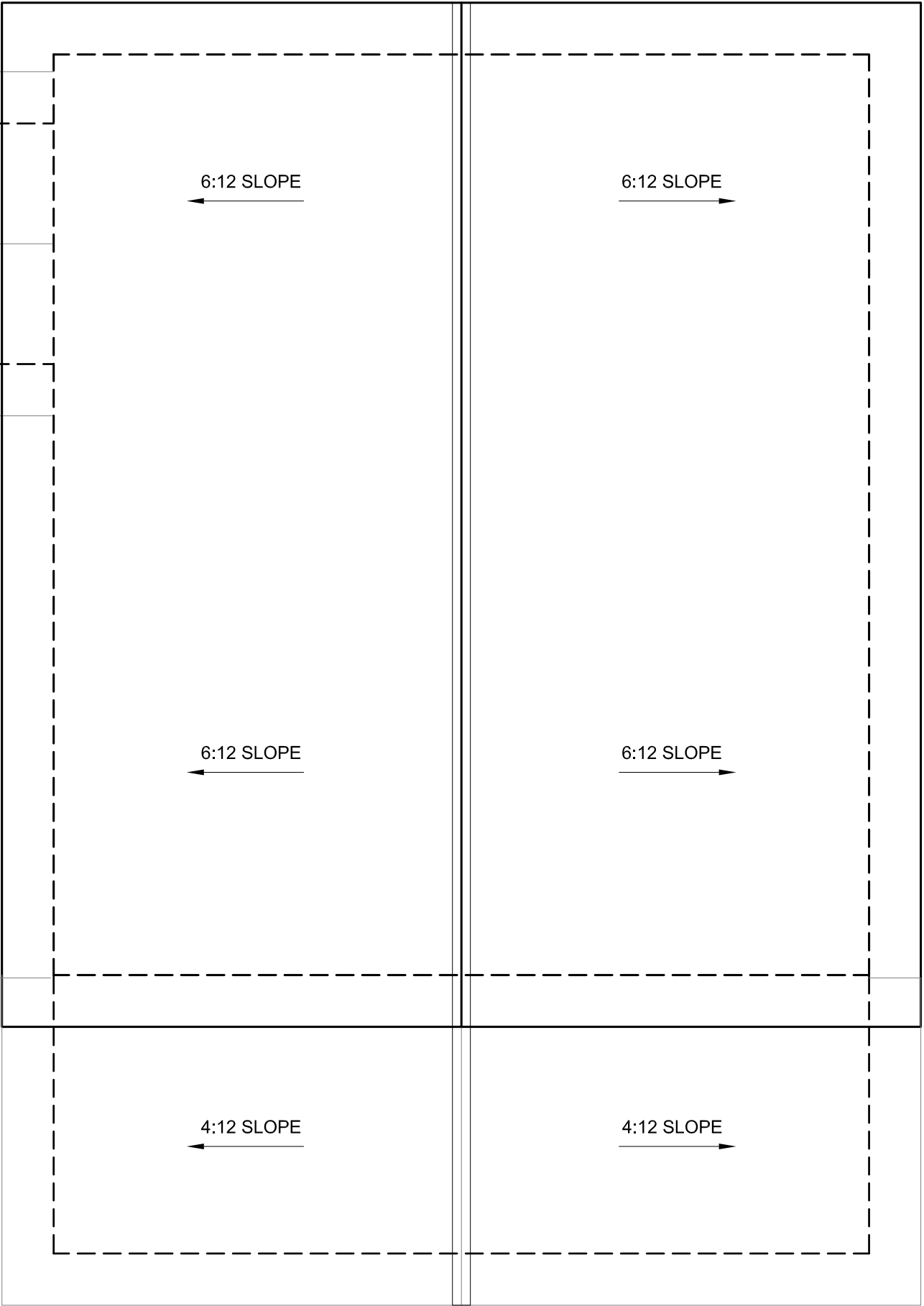
01 1ST FLOOR PLAN

1/4" = 1'-0"

WINDOW SCHEDULE				
WINDOW TAG	Quantity	SIZE		NOTES
		Width	HEIGHT	
W201	1	3'-0"	5'-0"	SINGLE HUNG 1/1 EGRESS, INSET AND RECESSED
W202	1	3'-0"	5'-0"	SINGLE HUNG 1/1 EGRESS, INSET AND RECESSED
W203	1	3'-0"	2'-0"	FIXED 1 TEMPERED, INSET AND RECESSED
W204	1	3'-0"	3'-0"	FIXED 1 INSET AND RECESSED
W205	1	3'-0"	3'-0"	FIXED 1 INSET AND RECESSED
W206	1	3'-0"	3'-0"	FIXED 1 INSET AND RECESSED

DOOR SCHEDULE				
Number	QUANTITY	DOOR SIZE		NOTES
		WD	HGT	
114	1	16'-0"	8'-0"	OVERHEAD - SECTIONAL GARAGE DOOR
115	1	3'-0"	8'-0"	HINGED - SINGLE - EXTERIOR RIGHT SELF CLOSE/SLEF LATCH

04 DOOR AND WINDOW SCHEDULE



02 2ND FLOOR PLAN

1/4" = 1'-0"

03 ROOF PLAN

1/4" = 1'-0"

06 NOTES

425 COLUMBIA ST.
Houston, TX 77007

GARAGE FLOOR PLANS

Issue/Revision:
04.15.24 HAHG COX APPLICATION

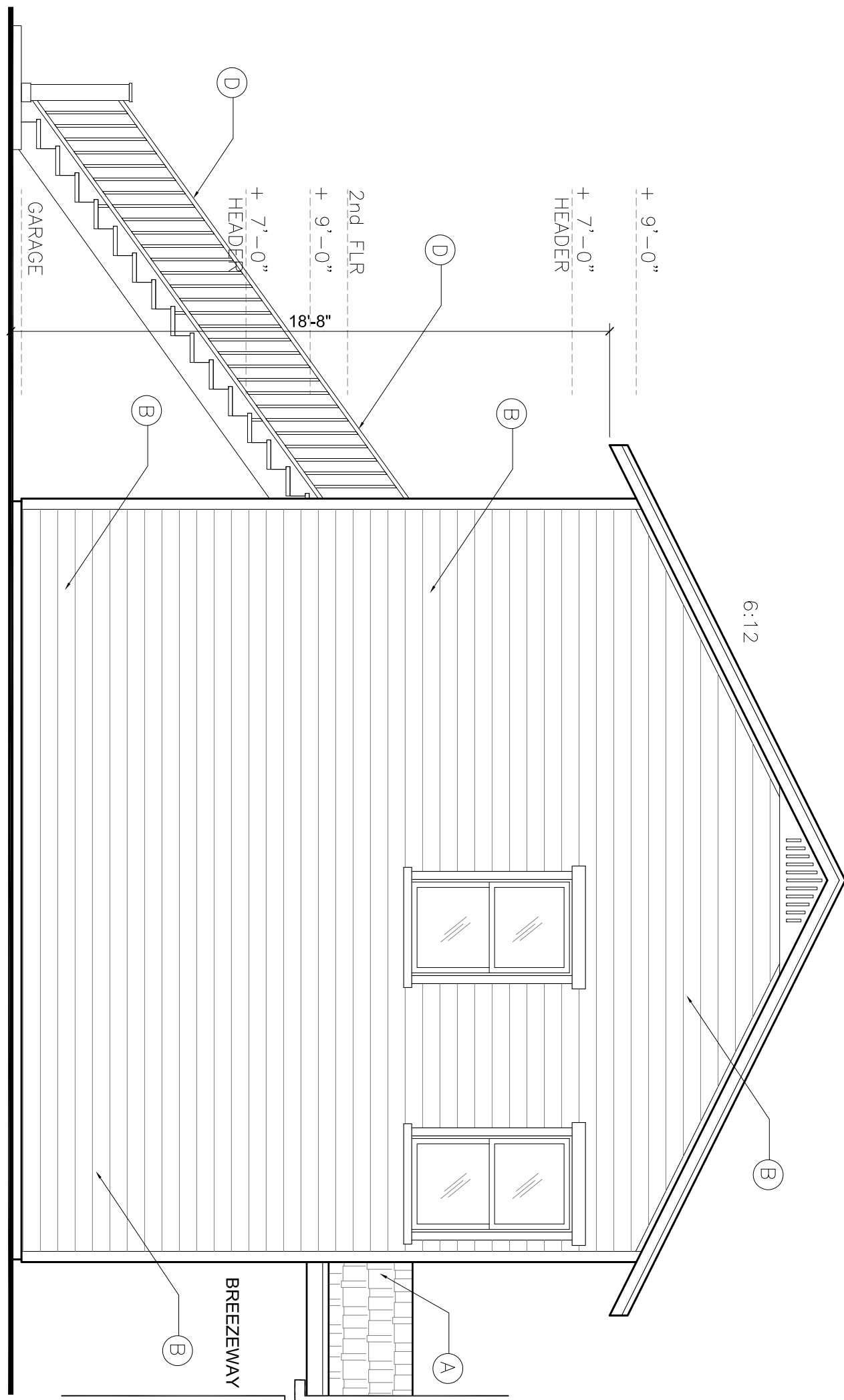
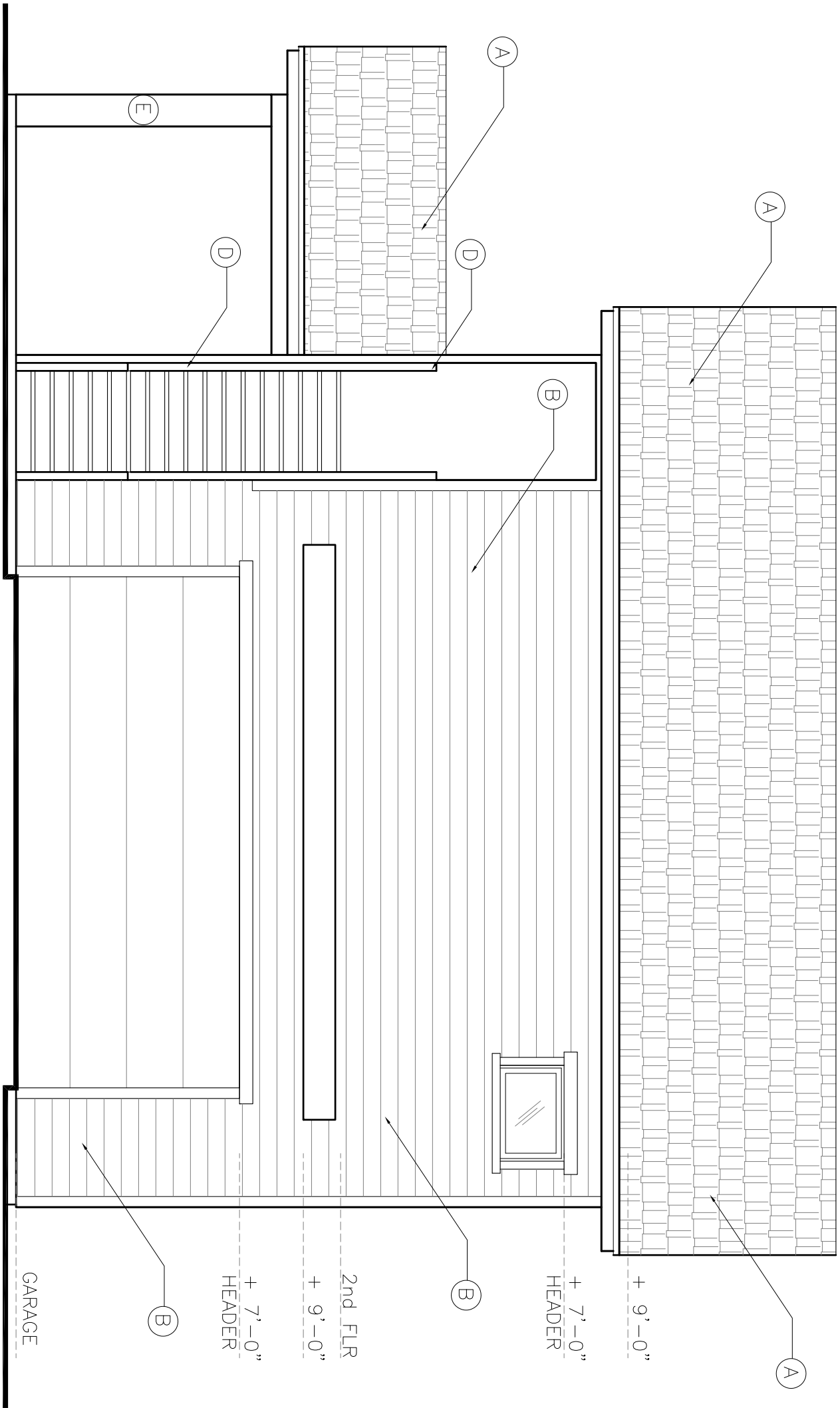
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GARAGE
FLOOR PLANS

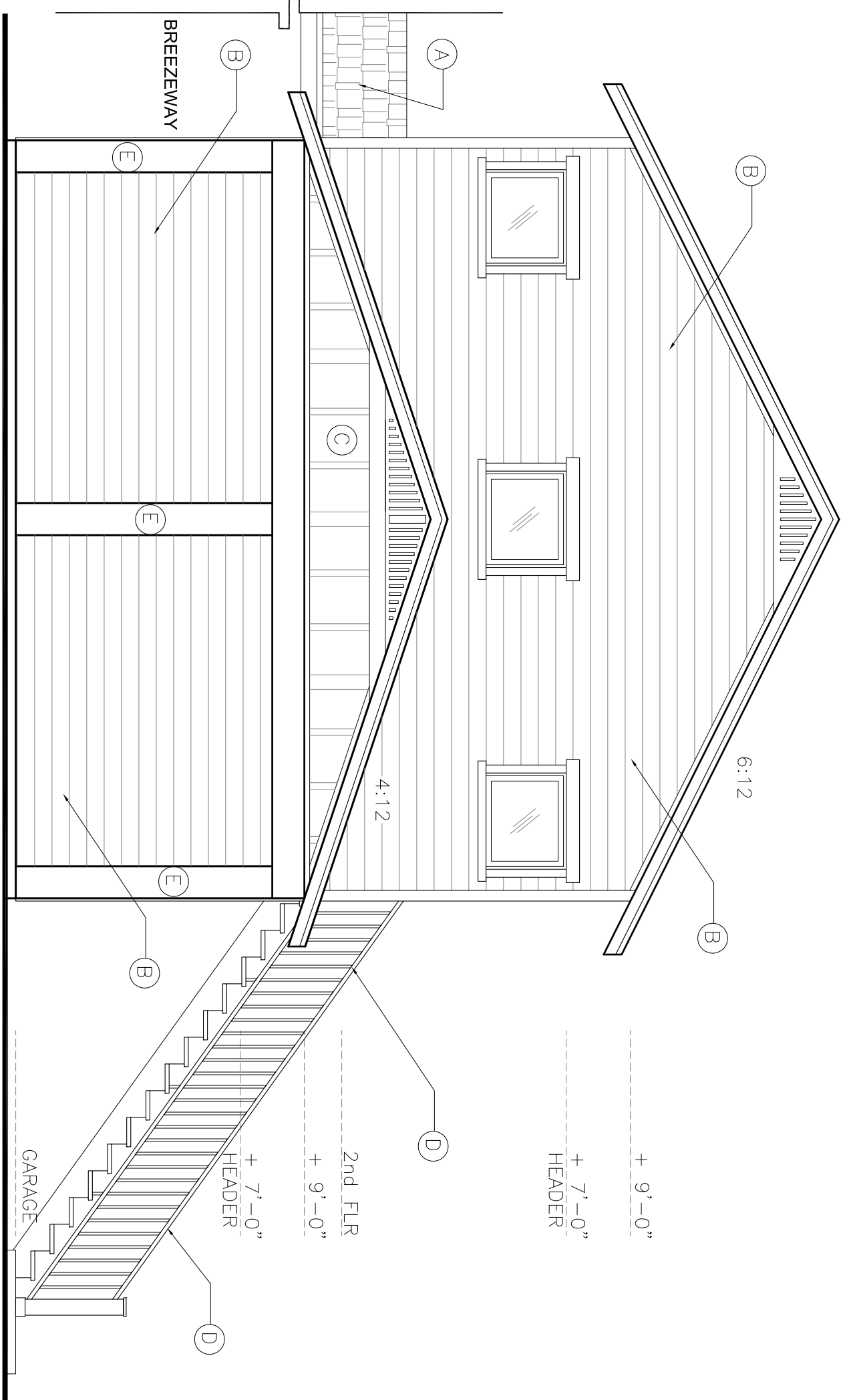
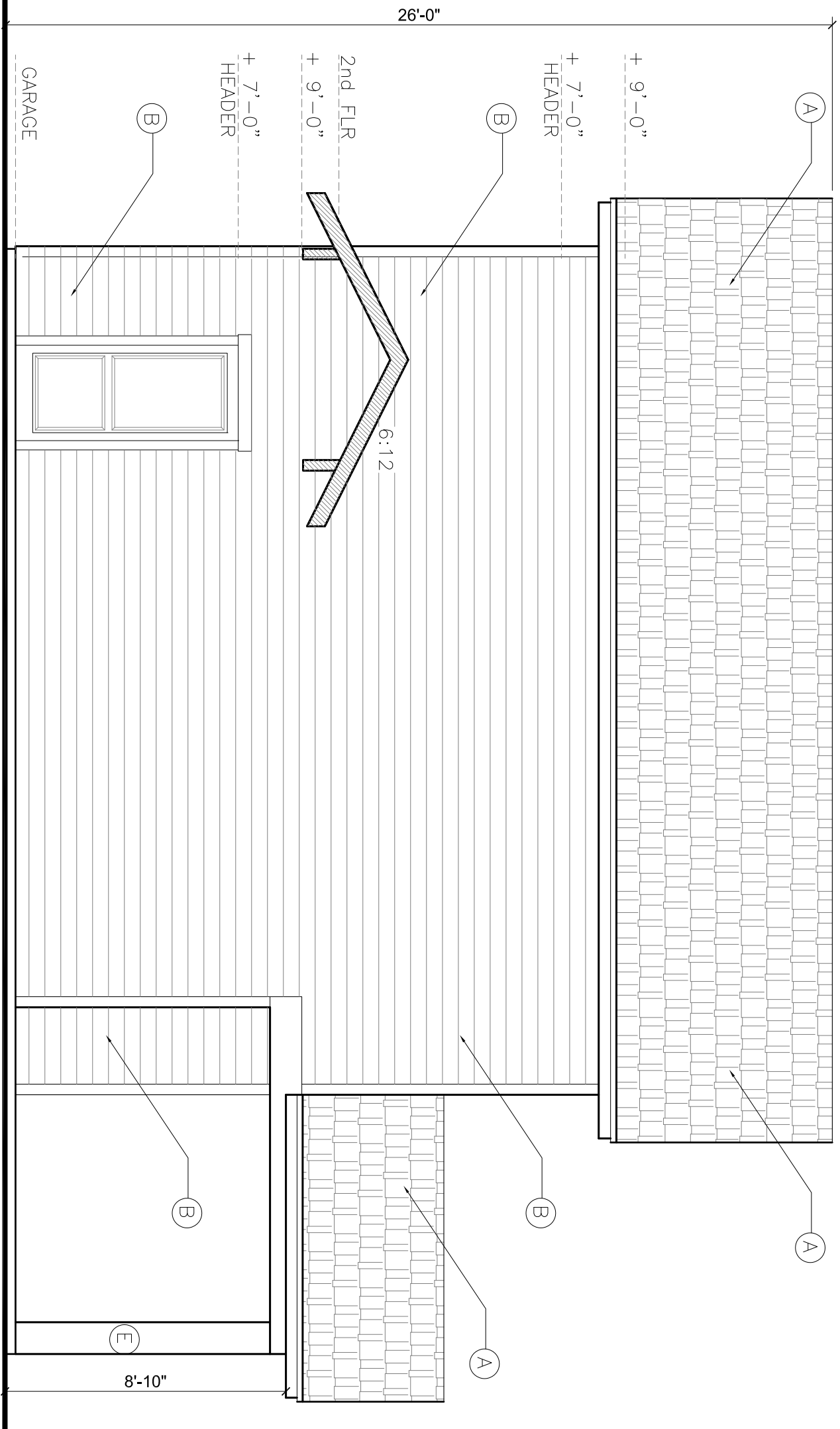
Dwg. Name:	
Layer mgt:	XX
Scale:	AS NOTED
Drawn by:	
Proj. Mgr.:	
Date:	

A 1.1

Jul 09, 2009 - 10:00am



- A COMPOSITION SHINGLE ROOF
- B 6" SMOOTH CEMENTITIOUS SIDING
- C BOARD AND BATTEN
- D 36" GUARD RAIL. RE: A4.1
- E PROPOSED COLUMN



03 REAR ELEVATION

1/4" = 1'-0"

04 LEFT ELEVATION

1/4" = 1'-0"

01 FRONT ELEVATION

1/4" = 1'-0"

02 RIGHT ELEVATION

1/4" = 1'-0"

05 NOTES

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Houston, TX 77007

GARAGE ELEVATIONS

Issue/Revision:
04.15.24 HAHG COX APPLICATION

Drawing Description:

GARAGE
ELEVATIONS

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WINDOW WORKSHEET



PLANNING &
DEVELOPMENT
DEPARTMENT

EXISTING WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Original	No

DAMAGE TO EXISTING WINDOWS	
Window	Describe Damage
Ex. A1	Glass is broke, window is inoperable, rail is rotten, and frame is broken

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Plygem	

- Must include photos of all windows with labels indicated on this sheet
 - Must include manufacture's specifications and details for all proposed windows
- *** Use additional sheets as necessary