



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

Application Date: 08/13/2026

HPO File#: HP2026_0203

ITEM#: E17

Applicant: Stephen McNiel, agent, Les Sprott, owner

Property: 509 Sul Ross Street, BLK 2, single-family residential 2,687 sq. ft., in First Montrose Commons

Significance: Contributing (includes potentially contributing), First Montrose Commons

Proposal: Alteration – Doors, Porch, Canopy, & Roof

- **North Elevation** (Front) new front door similar to existing, re-pour concrete landing and steps to front door, wrought iron handrails (2) at steps. Restore existing side lites and top transom. Reconstruct front entry canopy roof; 12/1 slope, standing seam metal roof, new columns similar proportions of side porch.
- **All Existing Windows** (Front & Side Elevations), multi-lite shall all be repaired, restored and reglazed as needed.
- **East Elevation** (Side) Rebuild side porch with new concrete landing and tile, new columns and new standing seam metal roof at 1:12 slope. The existing door will be removed and replaced a few feet to the right. A new guardrail and handrail will be installed along the perimeter and steps.2.
- **South Elevation** (Rear) A non-contributing addition (359 sq. ft.) at the back will be removed. Proposed square footage to be 2,328 sq. ft. A new back porch will be installed and will not be visible from the street.

ALL RESTORED & ANY NEW WINDOWS are to be **Inset and Recessed**.

See attached Window Diagram.

Public Comments

- - No Comments

Civic Association

- - No Comments

Recommendation: Approval

HAHC Action:

Basis for Issuance: HAHC review

Date Effective:

Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torquing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.



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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | S | D | NA | |
|-------------------------------------|--------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | (1) The proposed activity must retain and preserve the historical character of the property; |
| ☒ | ☐ | ☐ | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| ☒ | ☐ | ☐ | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| ☒ | ☐ | ☐ | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| ☒ | ☐ | ☐ | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| ☒ | ☐ | ☐ | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| ☒ | ☐ | ☐ | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| ☒ | ☐ | ☐ | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| ☒ | ☐ | ☐ | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| ☒ | ☐ | ☐ | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| ☒ | ☐ | ☐ | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |



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DISTRICT MAP FIRST MONTROSE COMMONS





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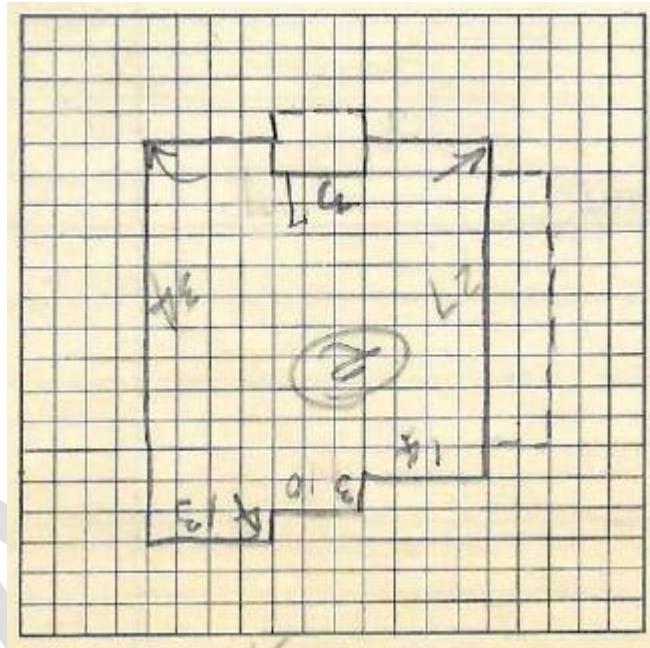
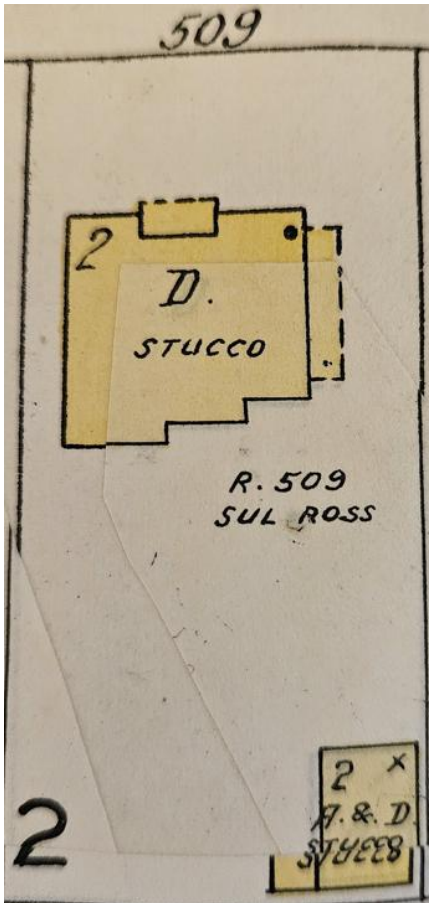
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HISTORIC DOCUMENTS
SANBORN MAP (1924-1951)

BUREAU OF LAND ASSESSMENT
(DATE UNKNOWN)





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EXISTING CONDITIONS NORTH ELEVATION (FRONT)



EAST ELEVATION (SIDE)



509 Sul Ross
COA Application
Additional Remodeling Information

NORTH FACADE - FACING SUL ROSS

1. Replace existing modified bitumen front porch roof with a new 1:12 slope low profile standing seam metal roof. The current roof is causing water runoff at the windows, mold, mildew and holding water on the roof.

2. Around all sides of the house - Replace the rotting trim around the top of the wall below the soffit with 5/4 treated wood - painted to match the existing trim color. Replace the rotting wood fascia with 1x6 fiber cement flat trim board - painted to match trim color. Replace the rotting wood coved crown molding with new wood to match same profile. Replace the stucco soffit with a tongue and groove 1x4 to match original front porch soffit.

3. Demolish the front porch and re-pour new concrete to match existing shape and design. Replace front porch tile with new tile, same size and pattern. Add decorative metal handrails to the front steps for safety.

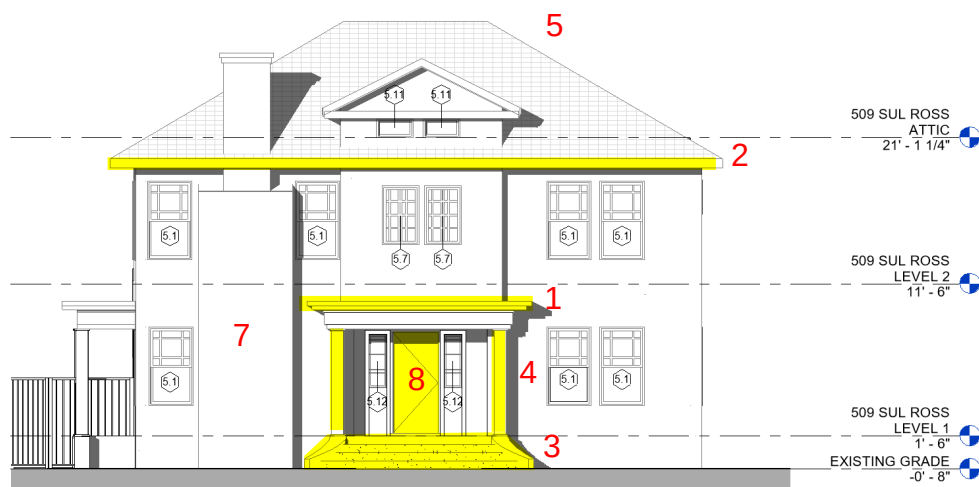
4. Replace missing front porch columns with round columns similar to the side porch.

5. Replace the existing shingled roof with new shingles, add gutters around the entire perimeter and add downspouts.

6. Restore all original windows and replace any broken glass. All decayed brick molding around windows to be replaced with new brick molding - match existing.

7. All stucco to be repaired matching existing texture.

8. Replace non-historic front door.

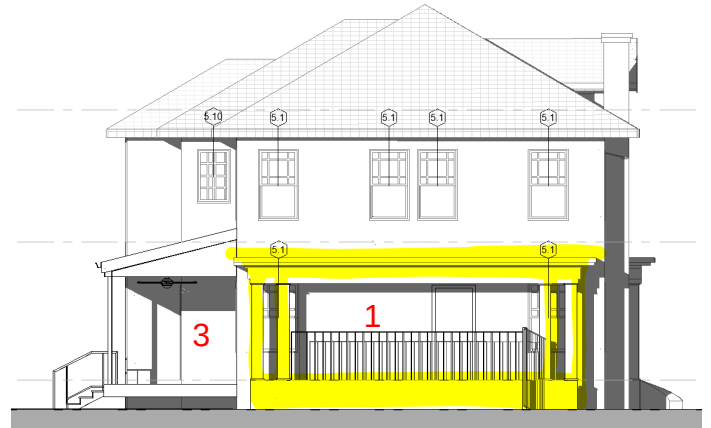
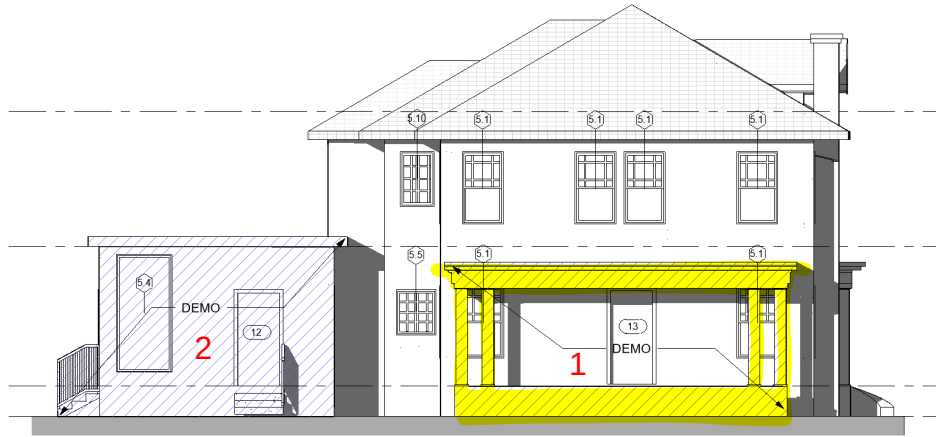


EAST FACADE

1. Rebuild side porch with new concrete landing and tile, new columns and new standing seam metal roof at 1:12 slope. The existing door will be removed and replaced a few feet to the right. A new guardrail and handrail will be installed along the perimeter and the steps.

2. A non contributing addition at the back will be removed.

3. A new back porch will be installed and will not be visible from the street.





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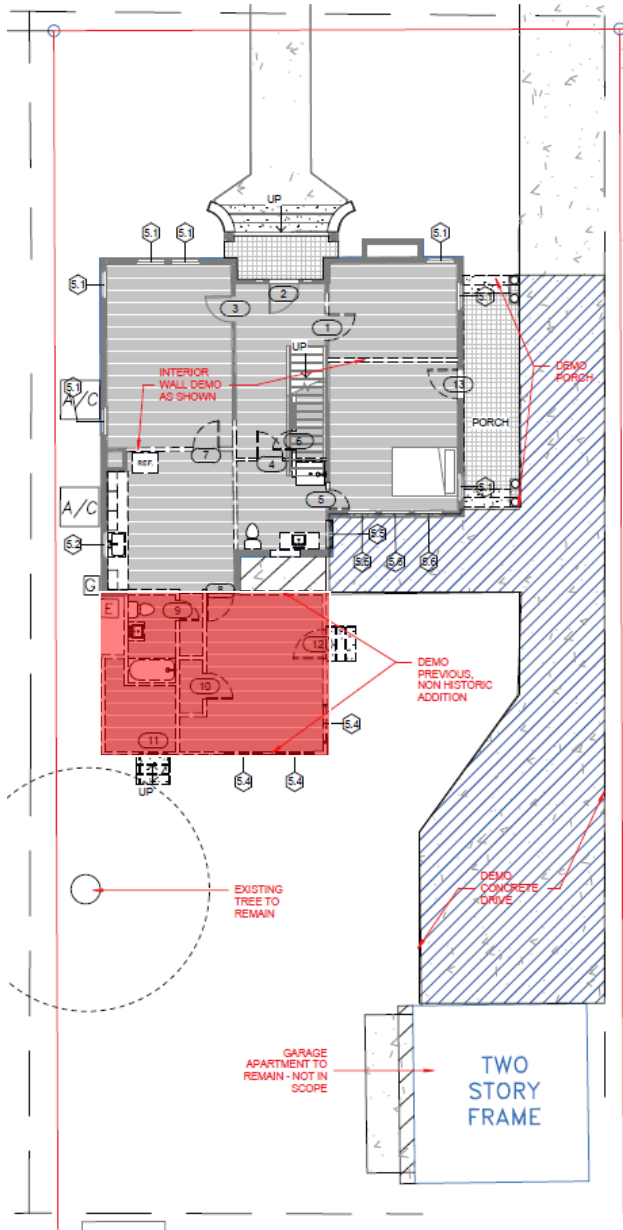
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SITE PLAN

EXISTING





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NORTH ELEVATION EXISTING



Rebuild concrete steps, new columns to match side porch, new door, new roof, refurbish rest.

PROPOSED

REPLACE THE EXISTING SHINGLED ROOF WITH NEW SHINGLES. ADD GUTTERS AROUND ENTIRE PERIMETER WITH DOWNSPOUTS

REBUILD SIDE PORCH TO MATCH ORIGINAL WITH NEW 1:12 SLOPED METAL ROOF & METAL GUARDRAIL. STEPS TO FRONT WILL BE REMOVED



ON ALL SIDES REPLACE THE ROTTING TRIM AROUND DOORS & WINDOWS WITH TREATED WOOD, SAME PROFILE. REPLACE FASCIA WITH FLAT 1X6 FIBER CEMENT. REPLACE COVED CROWN TRIM WITH SAME PROFILE TREATED WOOD. REPLACE STUCCO SOFFIT WITH NEW TONGUE & GROOVE BOARD.

REPLACE EXISTING ROOF ON FRONT PORCH WITH 1:12 STANDING SEAM METAL ROOF AND FLASHING AROUND THE FASCIA. REPLACE NON-HISTORIC FRONT DOOR.

DEMO AND REPOUR THE FRONT PORCH TO MATCH ORIGINAL. REPLACE TILE IN ENTRY WAY. REPLACE MISSING FRONT PORCH COLUMNS WITH NEW ROUND COLUMNS TO MATCH THE SIDE PORCH.

ALL HISTORIC WINDOWS TO REMAIN. STUCCO WILL BE REPAIRED MATCHING EXISTING TEXTURE.

Addition of wrought iron handrails and new door.



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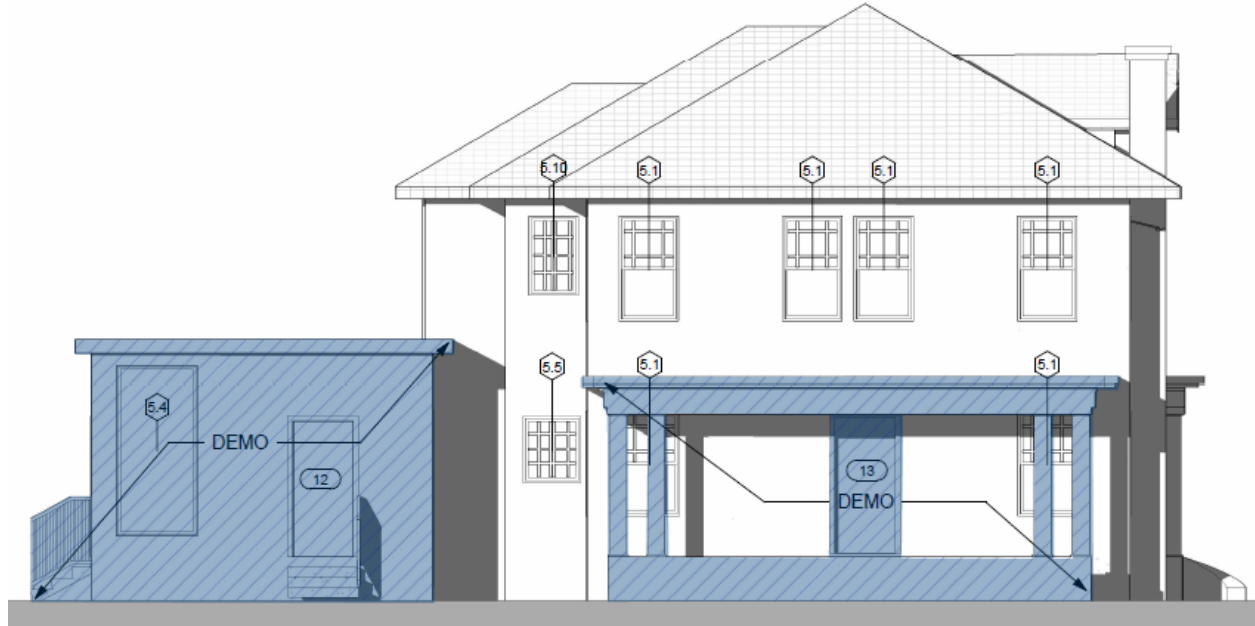
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EAST ELEVATION EXISTING (Proposed Removal of Door, Demo Rear Addition)



PROPOSED (Addition of New Door)



New door, to right of existing, addition of wrought iron handrails.



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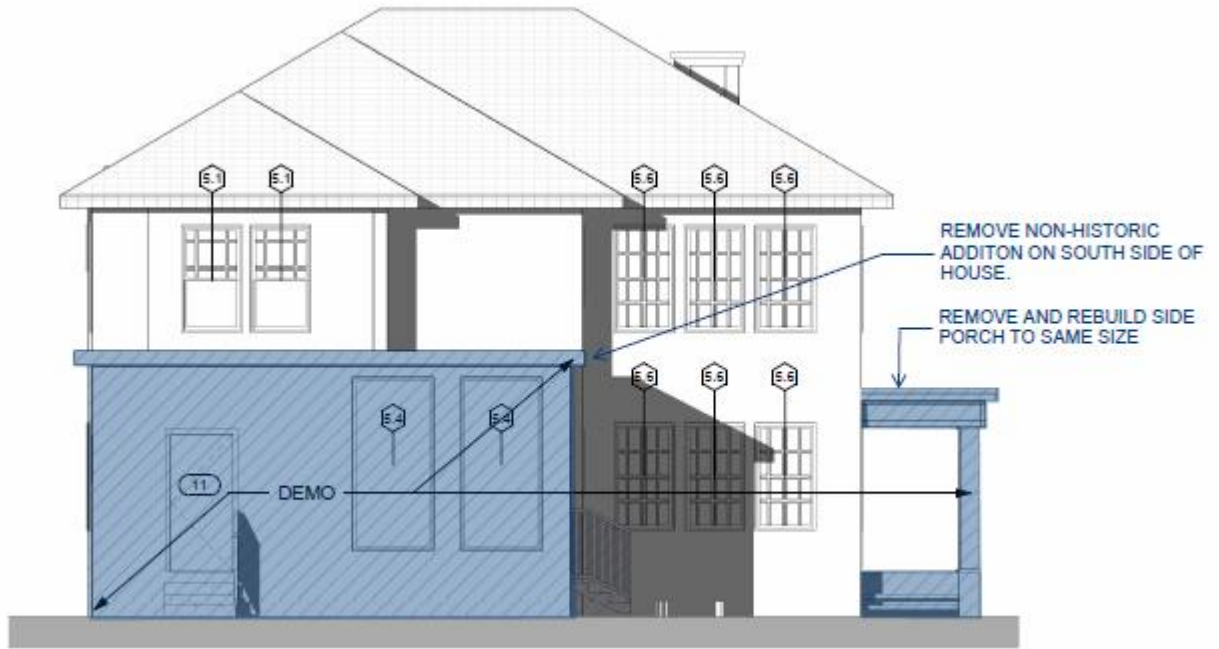
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SOUTH ELEVATION EXISTING



PROPOSED





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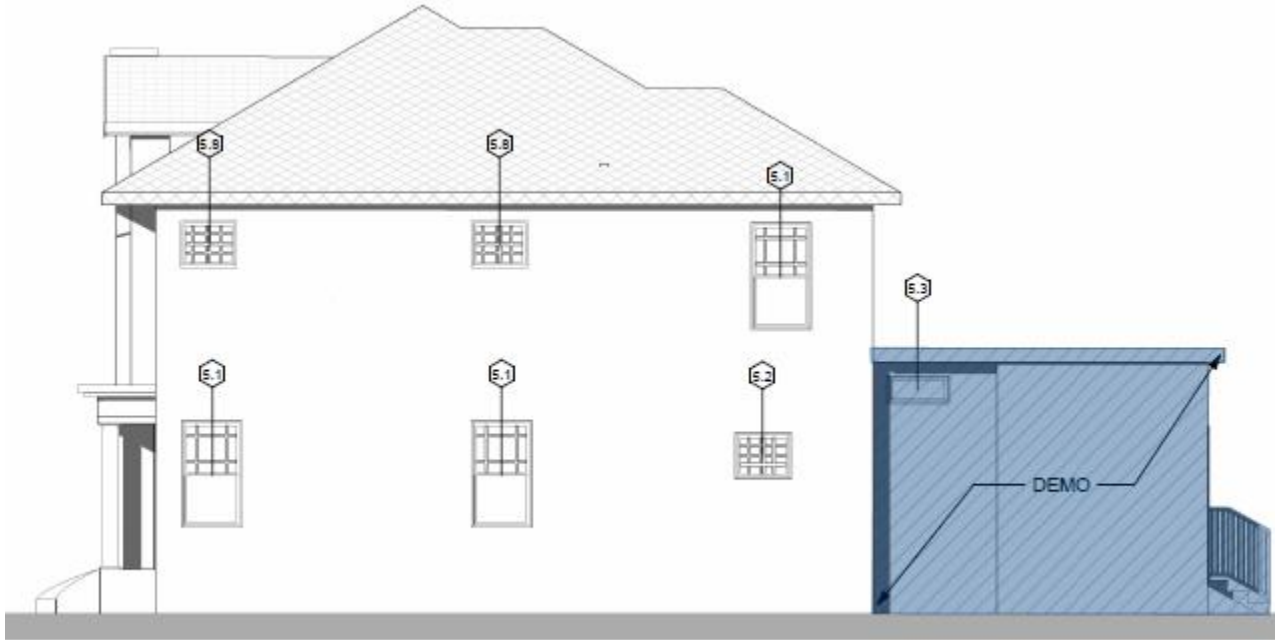
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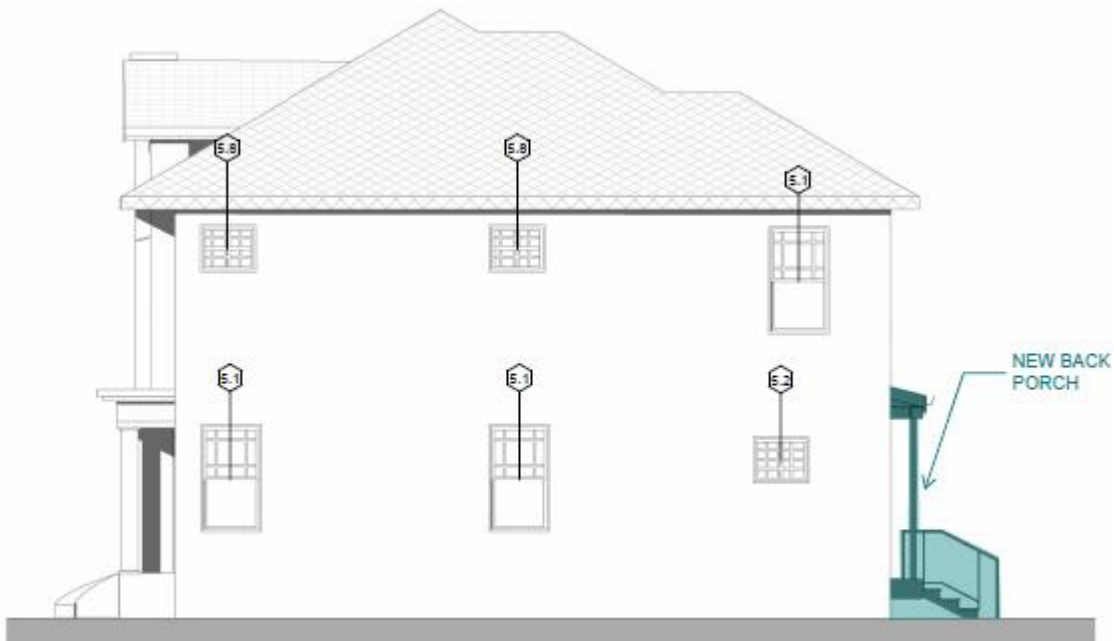
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WEST ELEVATION EXISTING

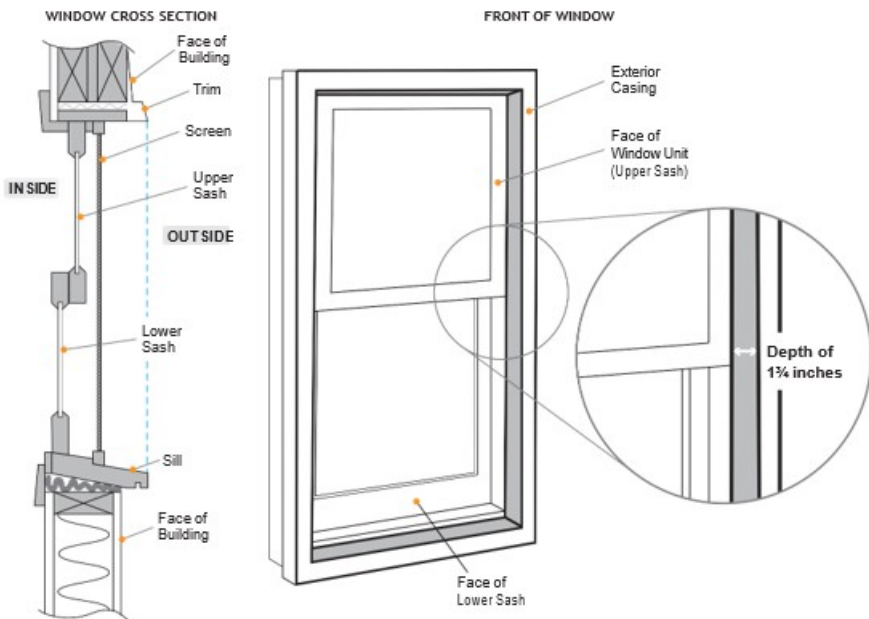


PROPOSED





Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

☎ 832-393-6556

✉ historicpreservation@houstontx.gov