



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM E16
HPO File #: HP2026_0220

August 18, 2026

1927 South Blvd
Boulevard Oaks

Applicant: Mark Atkins, agent, Graeme Gordon, owner

Property: 1927 South Blvd, Lot 6, Block 3, single-family residential home is a two-story brick house in Boulevard Oaks, living area of 2,938. sq. ft., on an 8,100 sq. ft. interior lot.

Significance: Contributing, English picturesque duplex, circa 1935, Boulevard Oaks Historic District

Proposal: Alteration: Windows, Door, & Shutters

Front (North) elevation scope items:

- Replace existing front door with specified wood painted arch top door with grilles. Refer to specifications on EX9.0.
- Replace existing lanterns with 2 new specified gas lanterns.

Side & Rear (East, West & South) elevation scope items:

Close up 3 sets of windows on the East elevation, 3 on the West elevation, and 1 on the South elevation (behind fence line) with specified standard louver shutters. Refer to specifications on EX9.0.

Rear (South – not visible from street)

Remove one set of windows on the South elevation and replace with specified French doors with sidelites.

- Replace existing South elevation door with set of specified windows in the kitchen. Refer to specifications on EX9.0.

ALL RESTORED & ANY NEW WINDOWS are to be Inset and Recessed.
See attached Window Diagram.

Public Comment: Michelle Lewis, at 1911 North Blvd. - **Supports - See Attached**

Civic Association: Boulevard Oaks Civic Assoc. - **Supports - See Attached**

Recommendation: Approval

HAHC Action: -

Basis for Issuance: HAHC review

Date Effective:

Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torquing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.



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1927 South Blvd
Boulevard Oaks

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies	D - does not satisfy	NA - not applicable
☒	☐	☐	(1)			
☒	☐	☐	(2)			
☒	☐	☐	(3)			
☒	☐	☐	(4)			
☒	☐	☐	(5)			
☒	☐	☐	(6)			
☒	☐	☐	(7)			
☒	☐	☐	(8)			
☒	☐	☐	(9)			
☒	☐	☐	(10)			
☒	☐	☐	(11)			



CERTIFICATE OF APPROPRIATENESS

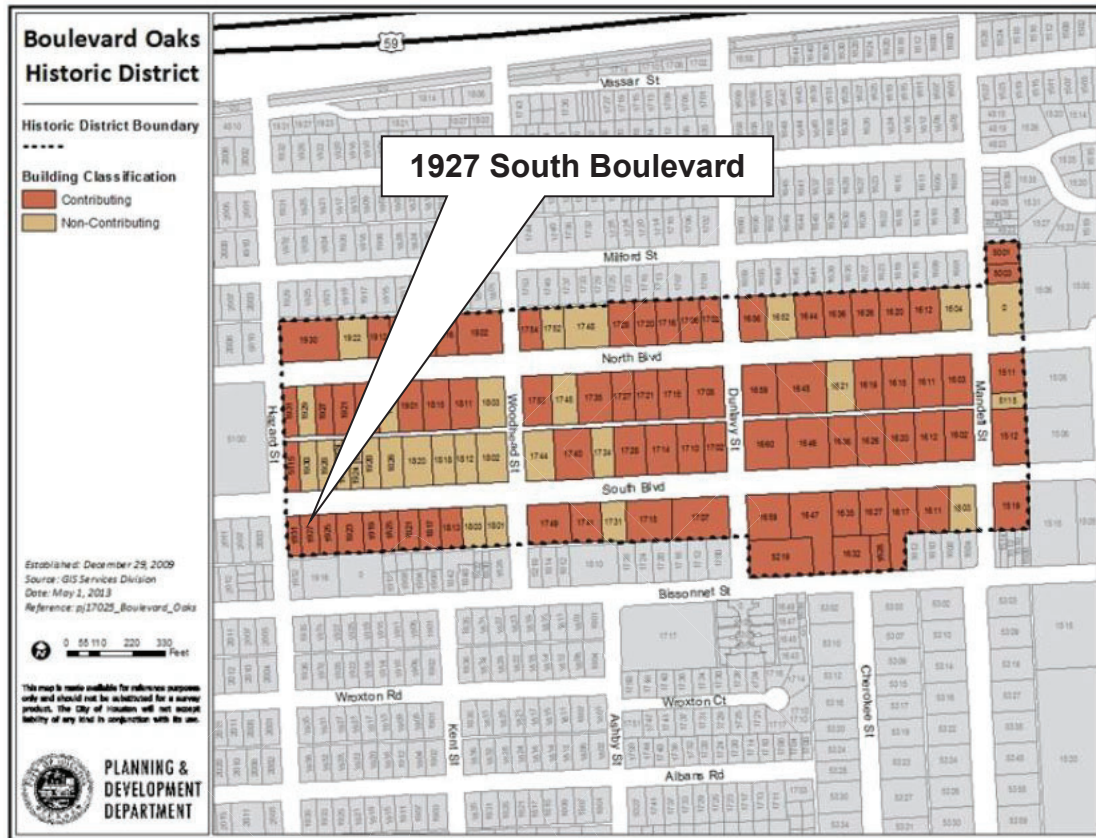
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1927 South Blvd
Boulevard Oaks

DISTRICT MAP





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1927 South Blvd
Boulevard Oaks

INVENTORY PHOTO (2009) North Elevation



CURRENT PHOTO



PROPOSED NORTH ELEVATION (FRONT)

**NO CHANGES TO WINDOWS
1-OVER-1 REMAIN**





1927 South Boulevard Houston, TX 77098
West Elevation
July 13, 2026



1927 South Boulevard Houston, Tx 77098
Existing Door
July 13, 2026



1927 South Boulevard Houston, Tx 77098
Existing Windows
July 13, 2026



1927 South Boulevard Houston, Tx 77098
Existing Windows
July 13, 2026

FD NO. CH-706-(107686)001013-AG CHARTER TITLE
ADDRESS: 1927 SOUTH BOULEVARD
HOUSTON, TEXAS 77058
BORROWER: GRACIE CRAWFORD GORDON

TOPOGRAPHIC SURVEY LOT 6 HERMAN HOSPITAL ESTATE FIRST ADDITION

A SUBDIVISION IN HARRIS COUNTY, TEXAS
ACCORDING TO THE MAP OF PLAT THEREOF RECORDED
IN VOLUME 855, PAGE 733, OF THE MAP RECORDS
OF HARRIS COUNTY, TEXAS

SCALE 1" = 30'

LEGEND

TEMP.	EXISTING
TEMPORARY BOND AND	
TEMP.	EXISTING BUILDING
E.C.	TOP OF CONCRETE
E.C.	EXISTING
E.C.	BACK OF CURB
E.C.	FRONTED CURB
E.C.	BRICK WALL

NOTE: ELEVATIONS ARE BASED ON HARRIS COUNTY
STANDARD MEASURED POINT AND ARE GIVEN IN FEET.
NOTE: ALL ELEVATIONS ARE MEASURED IN FEET (3)

THE PROPERTY LIES ALL OF WITHIN THE
MAP OF PLAT THEREOF RECORDED IN
VOLUME 855, PAGE 733, OF THE MAP RECORDS
OF HARRIS COUNTY, TEXAS.
THE PROPERTY LIES ALL OF WITHIN THE
SECTION 10, TOWNSHIP 35 NORTH, RANGE 15
EAST, COUNTY OF HARRIS, STATE OF TEXAS.
THE PROPERTY LIES ALL OF WITHIN THE
SECTION 10, TOWNSHIP 35 NORTH, RANGE 15
EAST, COUNTY OF HARRIS, STATE OF TEXAS.
THE PROPERTY LIES ALL OF WITHIN THE
SECTION 10, TOWNSHIP 35 NORTH, RANGE 15
EAST, COUNTY OF HARRIS, STATE OF TEXAS.

D.C. - DISTRICT COURT, HARRIS COUNTY, TEXAS
RECORDED IN VOLUME 855, PAGE 733, OF THE MAP RECORDS
OF HARRIS COUNTY, TEXAS.

WARRANTY: THE SURVEYOR WARRANTS THAT THE
SURVEY WAS MADE IN ACCORDANCE WITH THE
STANDARD PRACTICES OF THE SURVEYING
PROFESSION AND THAT THE SURVEYOR IS A
LICENSED SURVEYOR IN THE STATE OF TEXAS.
THE SURVEYOR WARRANTS THAT THE SURVEY
WAS MADE IN ACCORDANCE WITH THE
STANDARD PRACTICES OF THE SURVEYING
PROFESSION AND THAT THE SURVEYOR IS A
LICENSED SURVEYOR IN THE STATE OF TEXAS.
THE SURVEYOR WARRANTS THAT THE SURVEY
WAS MADE IN ACCORDANCE WITH THE
STANDARD PRACTICES OF THE SURVEYING
PROFESSION AND THAT THE SURVEYOR IS A
LICENSED SURVEYOR IN THE STATE OF TEXAS.

DATE: 10/10/2024

Charter Title Company

ANG GILBERT

713.471.9700

PRECISION
surveyors

THIS DOCUMENT IS UNCLASSIFIED DATE 08/10/2024 BY 60322 UCBAW/STP

ARCHITECTURAL SYMBOLS

- | | |
|---|--|
|  | GLASS TYPE |
|  | WINDOW/OUTRIGGER TYPE |
|  | PARTITION TYPE |
|  | DOOR TYPE |
|  | INTERIOR ELEVATION |
|  | EXTERIOR ELEVATION
BUILDING SECTION |
|  | REVISION |
|  | NORTH ARROW |
|  | PLAN AND PLAN DETAIL KEY NOTES |
|  | ELEVATION AND SECTION KEY NOTES |
|  | WALL SECTION/DETAIL CUT |
|  | WORK POINT / T.O.S. FRAMING |
|  | PROPERTY LINE POINT |

ABBREVIATIONS

- [illegible]

A. CODE REVIEW (IRC current edition) W/ AMENDMENTS)

- [illegible]

06 CODE REVIEW AND CHECKLIST

PROJECT
LOCATION
Project Address:
1927 South Blvd
HOUSTON, TEXAS 77098

05 VICINITY MAP

SCALE : NONE

08 SQFT. ANALYSIS

01. THE CONTRACTOR SHALL SECURE ALL INSPECTIONS AND PAY ALL FEES. PROVIDE ALL TEMP. WATER & POWER TO PROJECT.
02. DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
04. ALL HAZARDOUS MATERIAL IDENTIFICATION, HANDLING AND REMOVABLE SHALL BE DIRECTED BY AN EXECUTIVE LICENSED CONTRACTOR LEGALLY AUTHORIZED TO PERFORM SUCH WORK.
04. IDENTIFY AND PROTECT KNOWN UTILITIES. FLAG LOCATIONS AND COORD. WITH UTILITY COMPANY TO MARK LOCATIONS.
05. PROVIDE DESIGNATED TRASH/WASH ZONE AND COORDINATE REMOVAL WITH BUILDING MANAGEMENT.

07 PROJECT NOTES

- | SHT | DESCRIPTION |
|-------------------------------|----------------------------|
| EX0.0 | COVER |
| EX0.1 | PROJECT INFO |
| ARCHITECTURAL DRAWINGS | |
| EX1.0 | SITE PLAN |
| EX2.1 | 1ST FLOOR PLAN |
| EX2.2 | 2ND FLOOR PLAN |
| EX2.3 | EXISTING ROOF PLAN |
| EX3.0 | EXTERIOR ELEVATIONS: NORTH |
| EX3.1 | EXTERIOR ELEVATIONS: SOUTH |
| EX3.2 | EXTERIOR ELEVATIONS: EAST |
| EX3.3 | EXTERIOR ELEVATIONS: WEST |
| EX9.0 | DOOR AND WINDOW SCHEDULE |

02 DRAWING INDEX

- | | |
|-------------------------------------|--|
| Project Title: | Remodel @ 1927 South Boulevard |
| Project Address: | 1927 South Boulevard
Houston, Texas 77098 |
| Project Owner: | Alison Bagley & Graeme Gordon |
| Project Architect: | MSA Studio, Architects
3211 Eddie Street Suite #107
Houston, Texas 77027 |
| General Contractor: | T.B.D. |
| Civil Engineer: | n/a |
| Structural Engineer: | n/a |
| Mech./Elec./Plumb. Engineer: | M-B Engineering |
| Building Height: | 26'-1" Ridge Height |
| Building Square Footage: | Living: Residence = 2,937 sqft
Farmstead Residence = 2,955 sqft |
| Floors above/below grade: | 2 stories above
2 of street spaces |
| Parking: | |
| Structural System | Existing wood frame over pier and beam crawlspace foundation |

01 PROJECT INFORMATION

SCALE : NONE

DATE ISSUED:	DESCRIPTION:
07/13/26	HAHC SUBMITTAL
08/06/26	HAHC Revision

PROJECT NO.: 26005

a single family residential remodel

1927 South Boulevard
Houston, Texas 77098

MASA
STUDIO ARCHITECTS
3211 edloe street #107 : houston, texas 77027
p-713.592.6700 f-713.592.6649



SHEET CONTENT:

Project Information

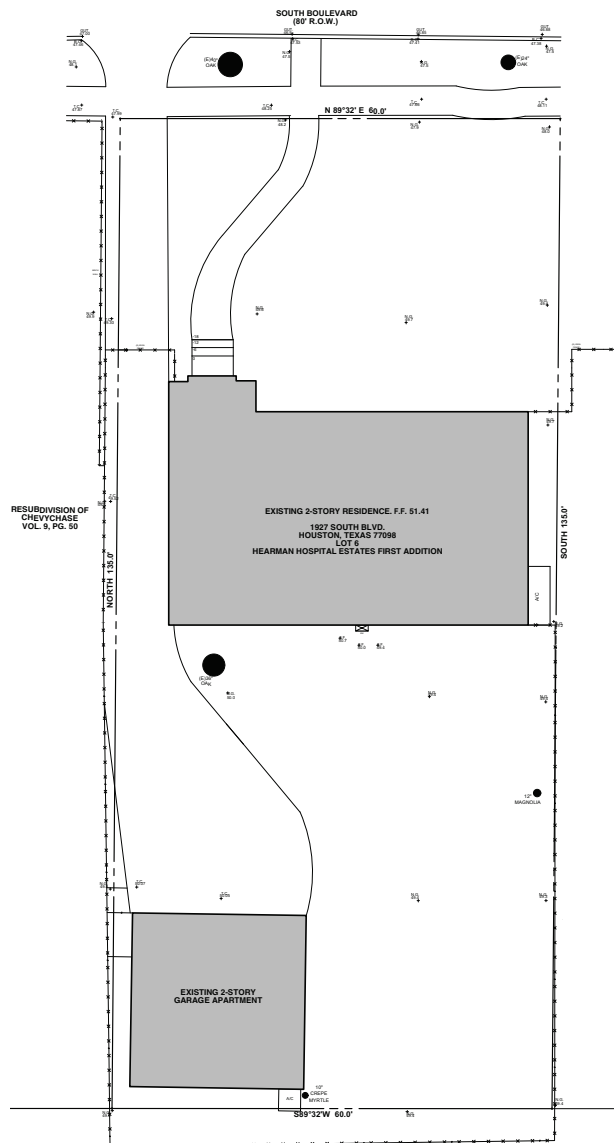
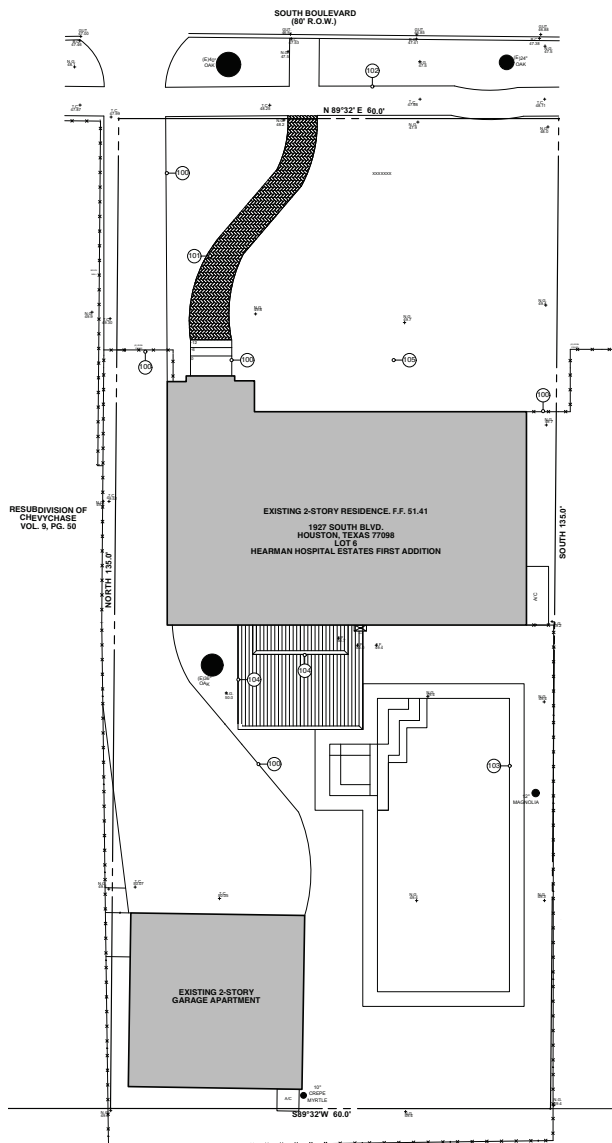
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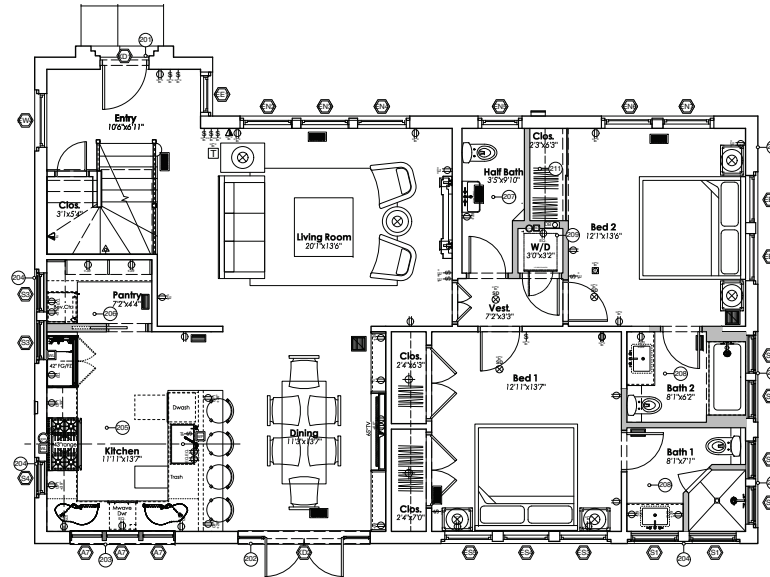
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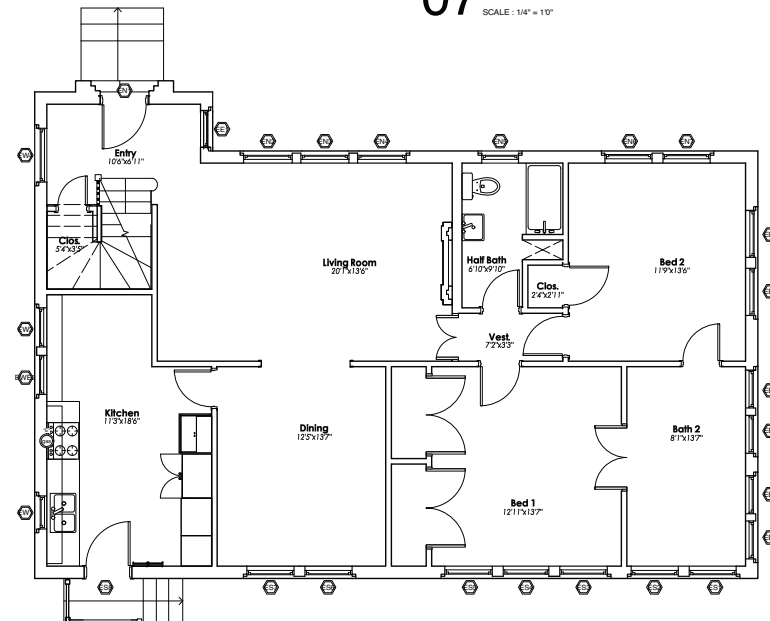
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SLA	: Drawn By
MJA	: Checked By
8/6/26	: Plot Date

EX0.1





07 PROPOSED 1ST FLOOR PLAN
SCALE : 1/4" = 1'0"



05 EXISTING 1ST FLOOR PLAN
SCALE : 1/4" = 1'0"

- PLAN NOTES**
- 200 ALL OTHER BUILDING ELEMENTS ARE EXISTING TO REMAIN.
 - 201 REMOVE AND REPLACE DOOR
 - 202 NEW DOOR WITH SIDELITES
 - 203 REMOVE AND REPLACE WINDOW & SASH
 - 204 REMOVE WINDOW AND REPLACE WITH SHUTTER
 - 205 RENOVATE KITCHEN
 - 206 RENOVATE PANTRY
 - 207 RENOVATE BATHROOM
 - 208 PROPOSED NEW BATHROOM
 - 209 PROPOSED NEW LAUNDRY
 - 210 PROPOSED NEW OFFICE
 - 211 PROPOSED NEW CLOSET

01 PLAN NOTES
SCALE : NONE

DATE ISSUED:	DESCRIPTION:
07/13/26	HAHC SUBMITTAL
08/04/26	HAHC Revision

PROJECT NO.: 26005

a single family residential remodel
1927 South Boulevard
Houston, Texas 77098

MASA
STUDIO ARCHITECTS
3011 Edison Street #107, Houston, Texas 77027
P-713.592.4700 F-713.592.4449



SHEET CONTENT:

1st Floor Plan

SCALE: As Noted



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SOUTH EX2.x Plans.vwx : File Name
SLA : Drawn By
HJA : Checked By
8/7/26 : Plot Date

EX2.1



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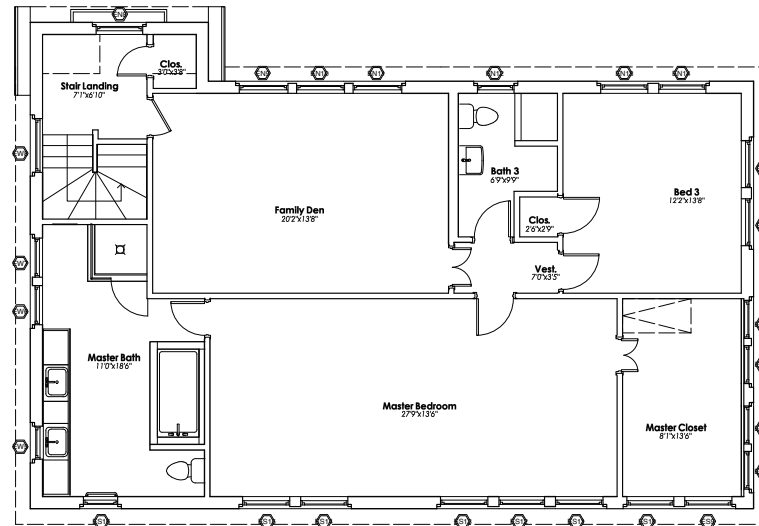
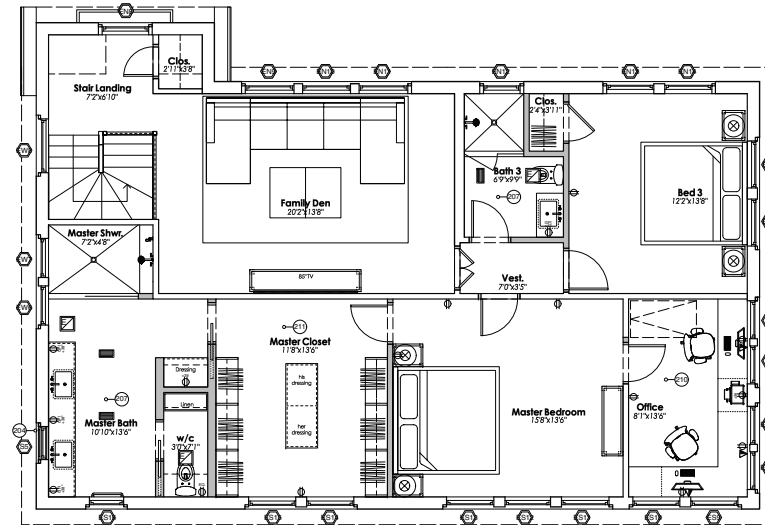
2nd Floor Plan

SCALE: As Noted



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 SOUTH EX2 - Plans.vex : File Name
 SLA : Drawn By
 MJA : Checked By
 8/7/26 : Plot Date

EX2.2



- PLAN NOTES**
- (20) ALL OTHER BUILDING ELEMENTS ARE EXISTING TO REMAIN.
 - (21) REMOVE AND REPLACE DOOR
 - (22) NEW DOOR WITH SIDELITES
 - (23) REMOVE AND REPLACE WINDOW & SASH
 - (24) REMOVE WINDOW AND REPLACE WITH SHUTTER
 - (25) RENOVATE KITCHEN
 - (26) RENOVATE PANTRY
 - (27) RENOVATE BATHROOM
 - (28) PROPOSED NEW BATHROOM
 - (29) PROPOSED NEW LAUNDRY
 - (30) PROPOSED NEW OFFICE
 - (31) PROPOSED NEW CLOSET

01 PLAN NOTES
 SCALE: NONE

a single family residential remodel
1927 South Boulevard
Houston, Texas 77098

MASA
STUDIO ARCHITECTS
3011 Edison Street #107, Houston, Texas 77027
P-713.592.6700 F-713.592.6449



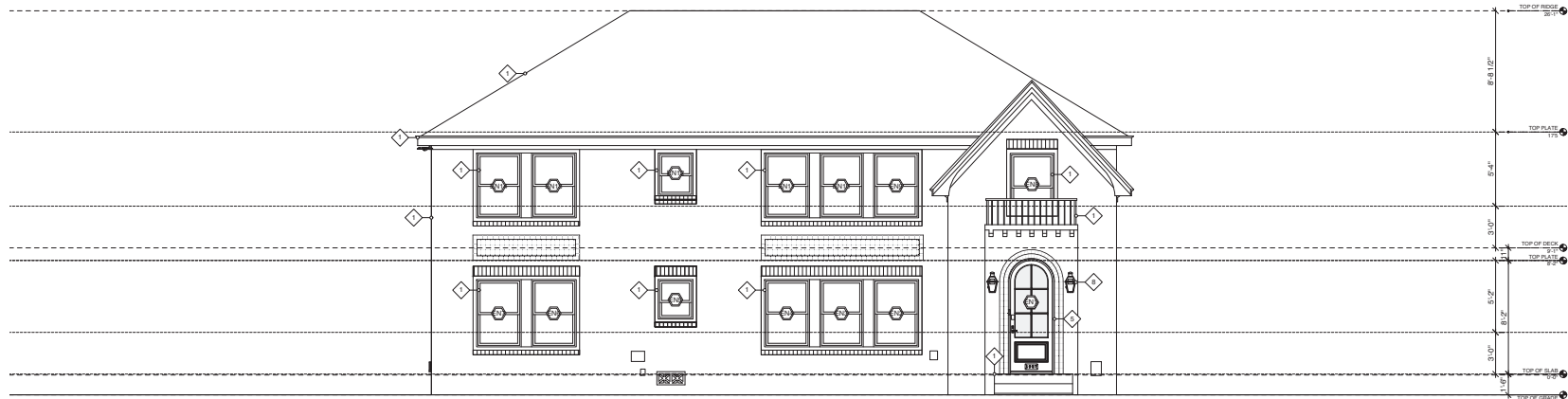
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North Exterior Elevations

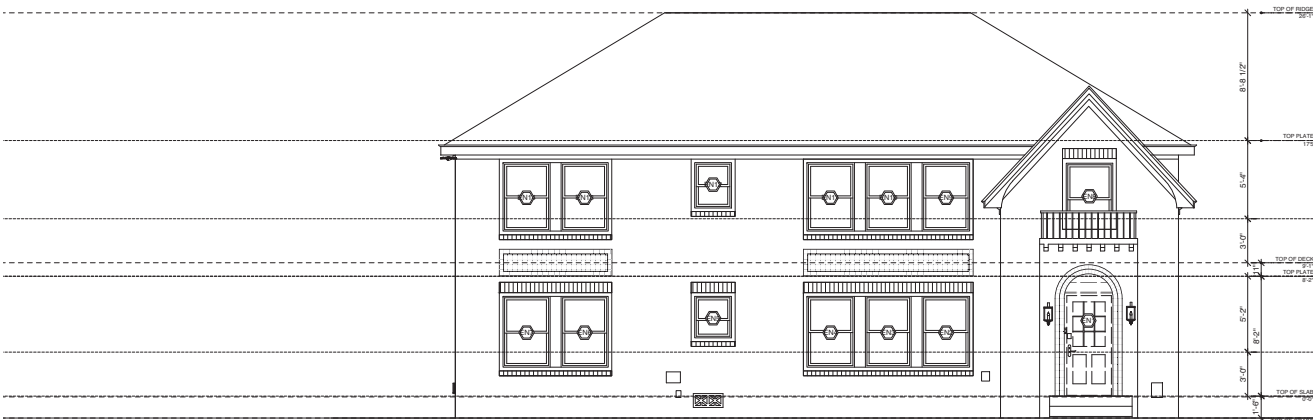
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SOUTH EX. 5 Elevations.vex : File Name
SLA : Drawn By
HJA : Checked By
8/7/26 : Plot Date



07 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

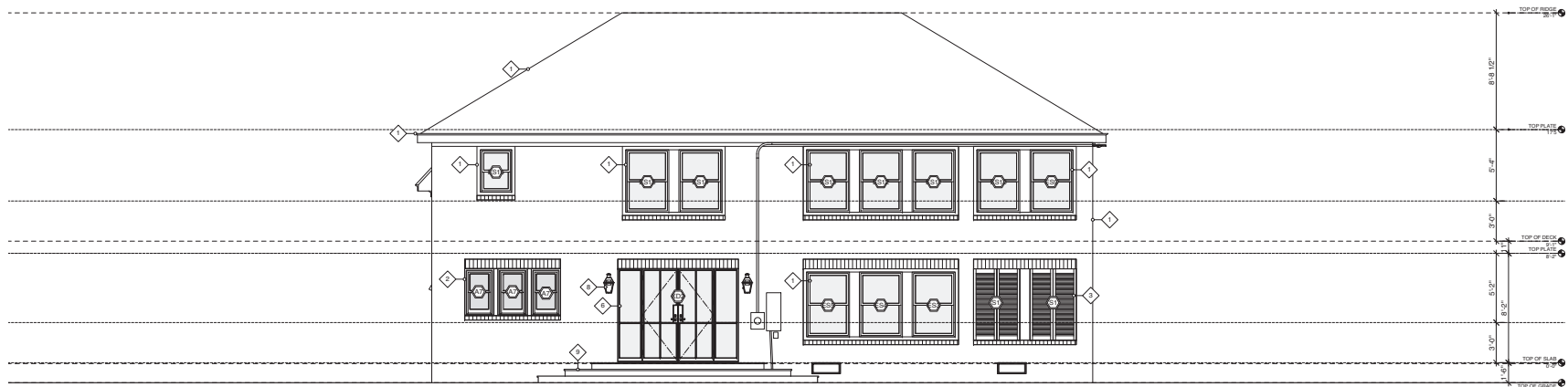


05 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

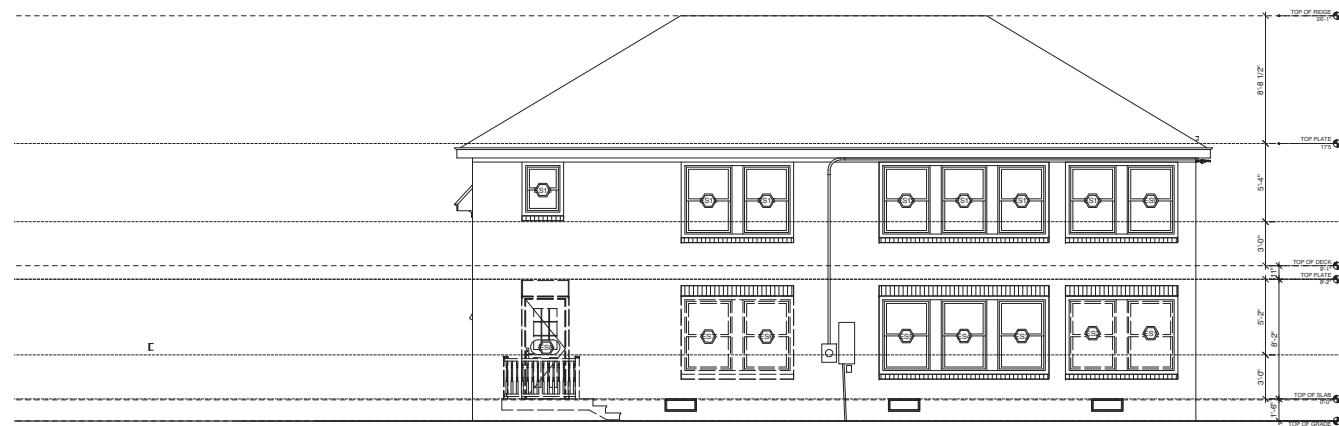
- EXTERIOR ELEVATION NOTES**
- 1. ALL OTHER BUILDING ELEMENTS ARE EXISTING TO REMAIN.
 - 2. REMOVE AND REPLACE WINDOW & SASH
 - 3. REMOVE WINDOW AND REPLACE WITH SHUTTER
 - 4. REMOVE PAINT FROM GLASS OF EXISTING WINDOW
 - 5. REMOVE AND REPLACE DOOR
 - 6. NEW DOOR WITH SIDELITES
 - 7. REMOVE AND REPLACE LANTERN
 - 8. NEW LANTERN
 - 9. NEW PATIO DECK
 - 10. RE-WORK MASONRY & STL. LINTEL AS REQ'D
 - 11. NEW SMOOTH HARDIE BD. TRIM
 - 12. NEW STL. LINTEL @ OPENING, RE: STRUC. DETAILS
 - 13. INFILL PREVIOUS OPENING W/ MASONRY FROM DEMO.
 - 14. EXISTING WINDOW TO REMAIN, APPLY SOLID COLOR WINDOW FILM ON INTERIOR FACE OF GLASS.
 - 15. REMOVE PAINT FROM GLASS OF EXISTING WINDOWS

01 NOTES
SCALE: NONE

EX5.0



07 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



05 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR ELEVATION NOTES**
- ◇ ALL OTHER BUILDING ELEMENTS ARE EXISTING TO REMAIN.
 - ◇ REMOVE AND REPLACE WINDOW & SASH
 - ◇ REMOVE WINDOW AND REPLACE WITH SHUTTER
 - ◇ REMOVE PAINT FROM GLASS OF EXISTING WINDOW
 - ◇ REMOVE AND REPLACE DOOR
 - ◇ NEW DOOR WITH SIDELITES
 - ◇ REMOVE AND REPLACE LANTERN
 - ◇ NEW LANTERN
 - ◇ NEW PATIO DECK
 - ◇ RE-WORK MASONRY & STL LINTEL AS REQ'D
 - ◇ NEW SMOOTH HARDIE BD. TRIM
 - ◇ NEW STL LINTEL @ OPENING, RE: STRUC. DETAILS
 - ◇ INFILL PREVIOUS OPENING W/ MASONRY FROM DEMO.
 - ◇ EXISTING WINDOW TO REMAIN, APPLY SOLID COLOR WINDOW FILM ON INTERIOR FACE OF GLASS.
 - ◇ REMOVE PAINT FROM GLASS OF EXISTING WINDOWS

01 NOTES
SCALE: NONE

DATE ISSUED:
07/13/26
08/04/26

DESCRIPTION:
HAHC SUBMITAL
HAHC Revision

PROJECT NO.: 26005

a single family residential remodel
©
1927 South Boulevard
Houston, Texas 77098

MASA
STUDIO ARCHITECTS
3011 Edison Street #107, Houston, Texas 77027
P-713.592.6700 F-713.592.6449



SHEET CONTENT:

South Exterior Elevations

SCALE: As Noted

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SOUTH EXS. 5 Elevations.vex : File Name
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HJA : Checked By
8/7/26 : Plot Date

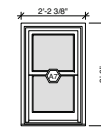
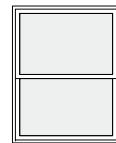
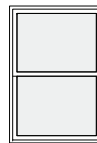
EX5.1

- 1 ALL OTHER BUILDING ELEMENTS ARE EXISTING TO REMAIN.
- 2 REMOVE AND REPLACE WINDOW & SASH
- 3 REMOVE WINDOW AND REPLACE WITH SHUTTER
- 4 REMOVE PAINT FROM GLASS OF EXISTING WINDOW
- 5 REMOVE AND REPLACE DOOR
- 6 NEW DOOR WITH SIDELITES
- 7 REMOVE AND REPLACE LANTERN
- 8 NEW LANTERN
- 9 NEW PATIO DECK
- 10 RE-WORK MASONRY & STL. LINTEL AS REQ'D
- 11 NEW SMOOTH HARDE BD. TRIM
- 12 NEW STL. LINTEL @ OPENING RE: STRUCT. DETAILS
- 13 INFILL EXISTING OPENING W/ MASONRY FROM DEMO.
- 14 EXISTING WINDOW TO REMAIN. APPLY SOLID COLOR WINDOW FILM ON INTERIOR FACE OF GLASS.
- 15 REMOVE PAINT FROM GLASS OF EXISTING WINDOWS

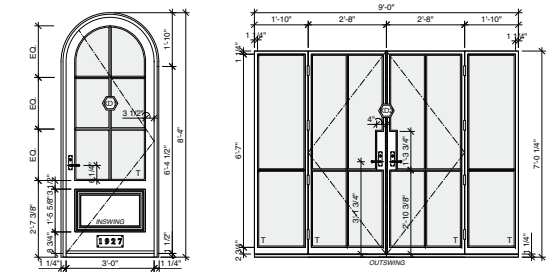
01 NOTES
SCALE : NONE

Exiting Window Schedule							
Window/Door	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
EN1	Wood	1/1	SH	3'0" x 6'10"	Recessed/Inset	Original	No
EN2	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
EN3	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
EN4	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
EN5	Vinyl	1/1	SH	2'6" x 2'10"	Recessed/Inset	Replacement	Yes
EN6	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
EN7	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
EN8	Vinyl	1/1	SH	2'7" x 4'10"	Recessed/Inset	Replacement	Yes
EN9	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
EN10	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
EN11	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
EN12	Vinyl	1/1	SH	2'6" x 2'10"	Recessed/Inset	Replacement	Yes
EN13	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
EN14	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
ES1	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES2	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES3	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES4	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
ES5	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
ES6	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES7	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES8	Fiberglass	1/1	SH	2'9" x 6'10"	Recessed/Inset	Replacement	No
ES9	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
ES10	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
ES11	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
ES12	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
ES13	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
ES14	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
ES15	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
ES16	Vinyl	1/1	SH	2'4" x 3'2"	Recessed/Inset	Replacement	Yes
E1	Vinyl	1/1	SH	2'7" x 4'10"	Recessed/Inset	Replacement	Yes
E2	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
E3	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
E4	Vinyl	1/1	SH	2'7" x 4'10"	Recessed/Inset	Replacement	No
EE5	Vinyl	1/1	SH	2'7" x 4'10"	Recessed/Inset	Replacement	No
EE6	Vinyl	1/1	SH	2'7" x 4'10"	Recessed/Inset	Replacement	No
EE7	Vinyl	1/1	SH	2'7" x 4'10"	Recessed/Inset	Replacement	No
EE8	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
EE9	Vinyl	1/1	SH	3'3" x 4"	Recessed/Inset	Replacement	Yes
E10	Wood	1/1	SH	2'7" x 4"	Recessed/Inset	Original	Yes
E11	Wood	1/1	SH	2'7" x 4"	Recessed/Inset	Original	Yes
E12	Wood	1/1	SH	2'7" x 4"	Recessed/Inset	Original	Yes
E13	Wood	1/1	SH	2'7" x 4"	Recessed/Inset	Original	Yes
EW1	Vinyl	1/1	SH	2'3" x 3'0"	Recessed/Inset	Replacement	No
EW2	Vinyl	1/1	SH	2'8" x 4'10"	Recessed/Inset	Replacement	No
EW3	Vinyl	1/1	SH	2'8" x 4'10"	Recessed/Inset	Replacement	No
EW4	Vinyl	1/1	SH	3'8" x 4'10"	Recessed/Inset	Replacement	Yes
EW5	Wood	1/1	SH	2'3" x 2'10"	Recessed/Inset	Original	No
EW6	Vinyl	1/1	SH	2'8" x 4"	Recessed/Inset	Replacement	Yes
EW7	Vinyl	1/1	SH	2'8" x 4"	Recessed/Inset	Replacement	Yes
EW8	Vinyl	1/1	SH	3'8" x 4"	Recessed/Inset	Replacement	Yes

14 COA WINDOW & DOOR WORKSHEET

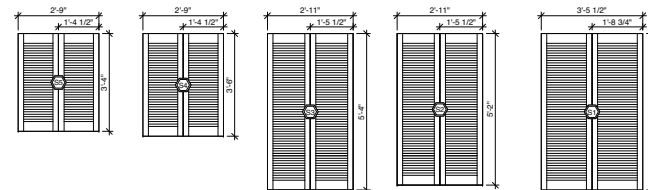


FIELD VERIFY ALL OPENINGS



ATELIER DOMINGUE
STEEL FRENCH DOOR W/ SIDELITES
3/4" TDL PUTTY BAR, TEMPERED
1/2" I.G. CARDINAL LO-E 366 GLASS
ALL HARDWARE INCLUDED

03 NEW DOORS AND WINDOWS



ATLANTIC SHUTTERS
ARCHITECTURAL COLLECTION
LOUVERED COLONIAL
FAUX HARDWARE
FINISH 633 FOREST GREEN

02 WINDOW REPLACEMENT NEW SHUTTERS



01 EXISTING WINDOWS

DATE ISSUED:	DESCRIPTION:
07/13/26	HAHC SUBMITTAL
08/06/26	HAHC Revision

MASA
STUDIO ARCHITECTS
11100 Edloe Street #107 • Houston, Texas 77027
713.592.6700 f-713.592.6649



SHEET CONTENT:

SCALE: As Noted

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SOUTH EXH.0 Doors and Windows.wac: File Name
S/LA : Drawn By
MJA : Checked By
8/27/26 : Plot Date

EX9.0

Existing Window Schedule							
Window/Door	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/ Replacement	Existing to Remain
EN1	Wood	1/1	SH	3'0" x 6'10"	Recessed/Inset	Original	No
EN2	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
EN3	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
EN4	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
EN5	Vinyl	1/1	SH	2'6"x 2'10"	Recessed/Inset	Replacement	No
EN6	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
EN7	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
EN8	Vinyl	1/1	SH	3'2"x 4'4"	Recessed/Inset	Replacement	No
EN9	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	No
EN10	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	No
EN11	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	No
EN12	Vinyl	1/1	SH	2'6"x 2'10"	Recessed/Inset	Replacement	No
EN13	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	No
EN14	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	No
ES1	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES2	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES3	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
ES4	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
ES5	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	Yes
ES6	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES7	Vinyl	1/1	SH	3'3" x 4'10"	Recessed/Inset	Replacement	No
ES8	Fiberglass	1/1	SH	2'9"x 6'10"	Recessed/Inset	Replacement	No
ES9	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	Yes
ES10	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	Yes
ES11	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	Yes
ES12	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	Yes
ES13	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	Yes
ES14	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	Yes
ES15	Vinyl	1/1	SH	3'3"x 4'8"	Recessed/Inset	Replacement	Yes
ES16	Vinyl	1/1	SH	2'4"x 3'2"	Recessed/Inset	Replacement	Yes



1927 South Boulevard Houston, TX 77098
Proposed Front Door
July 13, 2026



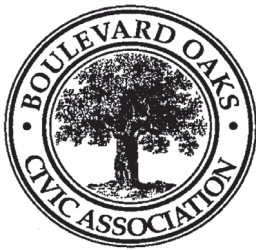
1927 South Boulevard Houston, TX
77098 Proposed Gas Lantern
July 13, 2026



1927 South Boulevard Houston, TX 77098

Proposed Shutters

July 13, 2026



July 29, 2026

Charles King Sadler, Planner II
City of Houston Planning & Development Department
611 Walker, 6th Floor, Houston, Texas 77002

Re: Support for alterations at 1927 South Blvd.

Dear Mr. Sadler or Planning Dept. Staff:

The Boulevard Oaks Historic District includes the property at 1927 South Blvd. New owners Allison Bagley & Graeme Gordon are planning to restore the home with alterations and enhancements that we believe are appropriate and in keeping with the character of the historic district. These changes will help to ensure the home is maintained for years to come.

The exterior changes presented to us are:

- New walkway
- Swimming Pool
- Landscaping
- Gutters
- Windows as needed

We appreciate the work that this family is doing to preserve this lovely Boulevard Oaks home. Please do not hesitate to contact us for further information for clarification.

Sincerely,

Evalyn Krudy, Executive Director
713-528-BOCA
info@BoulevardOaks.org

BOULEVARD OAKS CIVIC ASSOCIATION

P.O. BOX 540331 • HOUSTON • TEXAS • 77254 • 713 528-BOCA • info@boulevardoaks.org
WWW.BOULEVARDOAKS.ORG • WWW.COMMUNITY.BOULEVARDOAKS.ORG

July 30, 2026

To whom it may concern,

With the guidance of their architectural firm, MASA, and in close communication with BOCA, Graeme Gordon and Allison Bagley — the new homeowners of 1927 South Blvd. — have taken great efforts to ensure their renovation is sensitive to the historic features of their beautiful home. As a neighbor, I feel their improvements, including a classic arched front door to complement the existing arched brickwork and the addition of double-hung windows to replace the vinyl inserts, will enhance the surrounding area.

In addition, Graeme and Allison will be a wonderful addition to our neighborhood community. I have known Allison for many years, through the seasons of watching our young children grow into remarkable young adults. Along the way, I have come to know her as someone of rare character and grace.

Allison possesses an effortless sense of style, but what truly distinguishes her is her gift for bringing people and ideas together. She is a talented writer, a thoughtful curator of experiences, and someone who has an extraordinary ability to inspire those around her to embrace life more fully. Her friendship is one of those uncommon gifts that enriches the lives of everyone fortunate enough to receive it.

She is, somehow, both humble and dazzling, grounded and aspirational, equally at home with her feet firmly on the earth and her head in the clouds. Allison brings energy, creativity, and generosity wherever she goes, and our community will be richer for her presence.

Together, Allison and Graeme embody the kind of stewardship that strengthens a neighborhood. I have no doubt that the improvements they envision for their home will not only enhance their property, but will contribute meaningfully to the beauty, character, and vitality of the entire community. We are fortunate to welcome them as neighbors.

All my best,

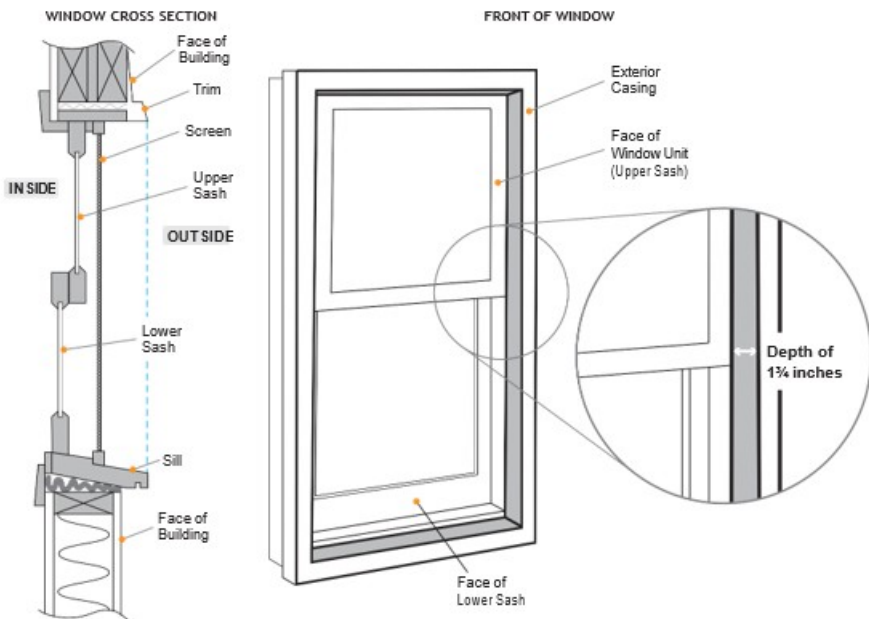
Michelle Lewis

1911 North Blvd., Houston, Texas 77098

713-469-1534



Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation

☎ 832-393-6556

✉ historicpreservation@houstontx.gov