



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM E12
HPO File #: HP2026_0212

August 13, 2026

1624 Heights Boulevard
Houston Heights East

Applicant: Fabian Duran, agent for Steven Burbridge, owner

Property: 1624 Heights Boulevard, Lot 18, Tract 17A, Block 117, Houston Heights. The property is a 2,078 square foot two-story wood single-family residence with a 531 square foot detached garage situated on a 11,250 square foot (75' x 150') interior lot.

Significance: Contributing Foursquare Craftsman style property constructed circa 1921, located in the Houston Heights East Historic District.

Proposal: Alteration – Addition

The applicant proposes to construct a two-story 1,742 SF rear addition (808 SF on first floor, 934 SF on second floor) and add a second-story garage apartment to an already existing 531 SF non-contributing detached garage (not scope of this project; HP2026_0214).

- Proposed 2nd-story ridge height: 28'-1 1/8"
- Proposed 2nd-story eave height: 19'- 1/8"
- Roof: 6:12 with composition shingles (matches existing)
- Windows: wood recessed Marvin windows
- All new windows need to be wood, inset, and recessed. See Attachment A for details.

Public Comment: No public comment received.

Civic Association: No civic association comment received.

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | | | | |
|-------------------------------------|--------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | (1) The proposed activity must retain and preserve the historical character of the property; |
| ☒ | ☐ | ☐ | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| ☒ | ☐ | ☐ | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| ☒ | ☐ | ☐ | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| ☒ | ☐ | ☐ | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| ☒ | ☐ | ☐ | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| ☒ | ☐ | ☐ | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| ☒ | ☐ | ☐ | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| ☒ | ☐ | ☐ | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| ☒ | ☐ | ☐ | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| ☒ | ☐ | ☐ | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |

HEIGHTS DESIGN GUIDELINES

- | | | | |
|-------------------------------------|--------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines. |
|-------------------------------------|--------------------------|--------------------------|---|



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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

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Maximum Lot Coverage (Addition and New Construction)

Existing Lot Size: 11,250
Max Lot Coverage Allowed: .38 (38%) / 4,275 sq. ft.
Proposed Lot Coverage / Coverage %: 1,913 = 17.00%

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Maximum Floor Area Ratio (Addition and New Construction)

Existing Lot Size: 11,250
Max FAR Allowed: .40 (40%) / 4,500 sq. ft.
Proposed Lot Coverage / Coverage %: 3,826 = 34.01%

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Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 39'-1" (addition)
Inset on left side: 2'-0" depth, 8'-1" length
Inset on right side: 8'-6" depth, 8'-1" length

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Side Setbacks (Addition and New Construction)

MEASUREMENT	APPLICATION
3 FT.	Minimum distance between side wall and the property line (for lots less than 35 feet wide)
5 FT.	Minimum distance between the side wall and the property line
REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
6 FT.	Minimum cumulative side setback (for lots less than 35 feet wide)
10 FT.	Minimum cumulative side setback (1-story house)
15 FT.	Minimum cumulative side setback (2-story house)

Proposed side setback (left) side: 5'-0"
Proposed side setback (right) side: 47'-6"
Cumulative side setback: 52'-6"

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Eave Height (Addition and New Construction)

PRIMARY BUILDING (2-STORY)	
MEASUREMENT	APPLICATION
20 FT.	Maximum 2-story eave height (at 5 FT. minimum side setback)
22 FT.	Maximum 2-story eave height (at 7 FT. or greater side setback)

Proposed eave height: 19'-1 1/8"



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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at front of structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 20"

Proposed first floor plate height: 10'-1 1/8" (already existing)

Proposed second floor plate height: 8'-1 1/8"

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Rear Setbacks (Addition and New Construction)

MEASUREMENT	APPLICATION
3 FT.	Minimum setback from rear property line
0 FT.	Front-facing garage (with rear wall at alley)
20 FT. (24 FT. preferred)	Minimum clearance from alley-loading garage from either an opposing alley-loading garage door, rear wall of a front-facing garage, or fence

Proposed rear setback: 24'-11 1/4"



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DISTRICT MAP





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INVENTORY PHOTO



DRAFT



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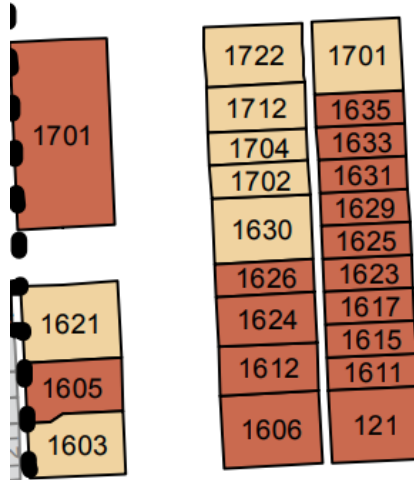
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CONTEXT AREA



1612 Heights Blvd – Contributing – 2 STY



1626 Heights Blvd – Contributing – 1 STY



1621 Heights Blvd – Non-contributing – 2 STY



1606 Heights Blvd – Contributing – 2 STY





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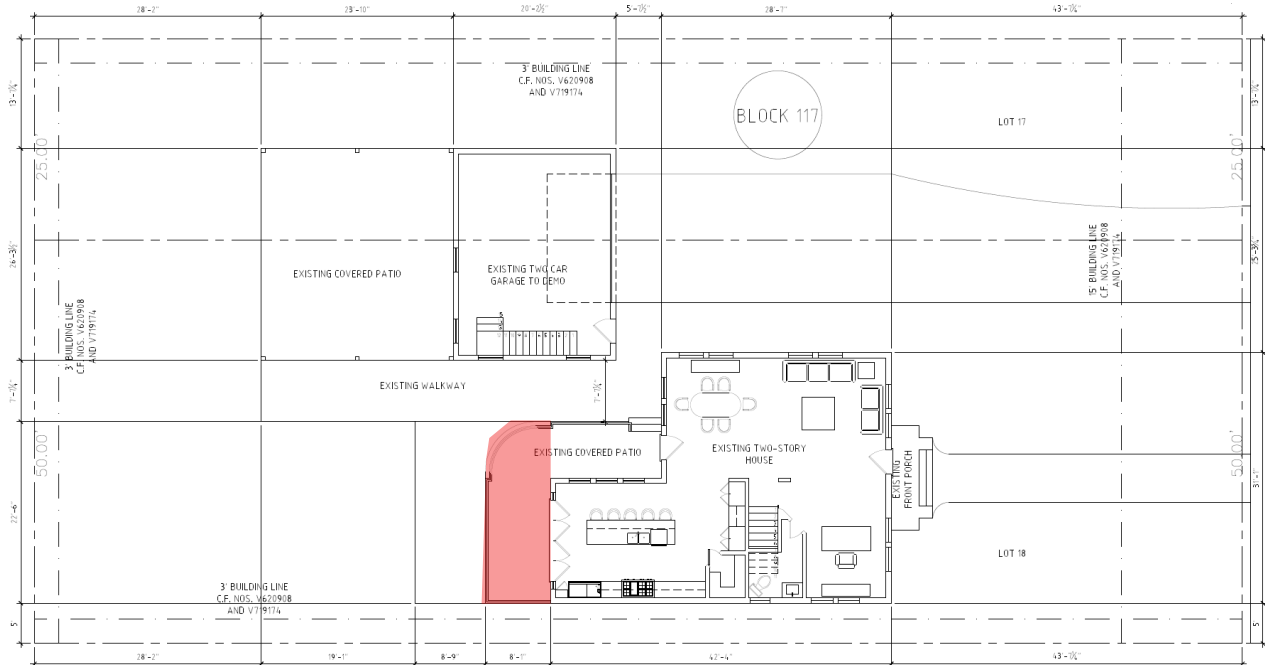
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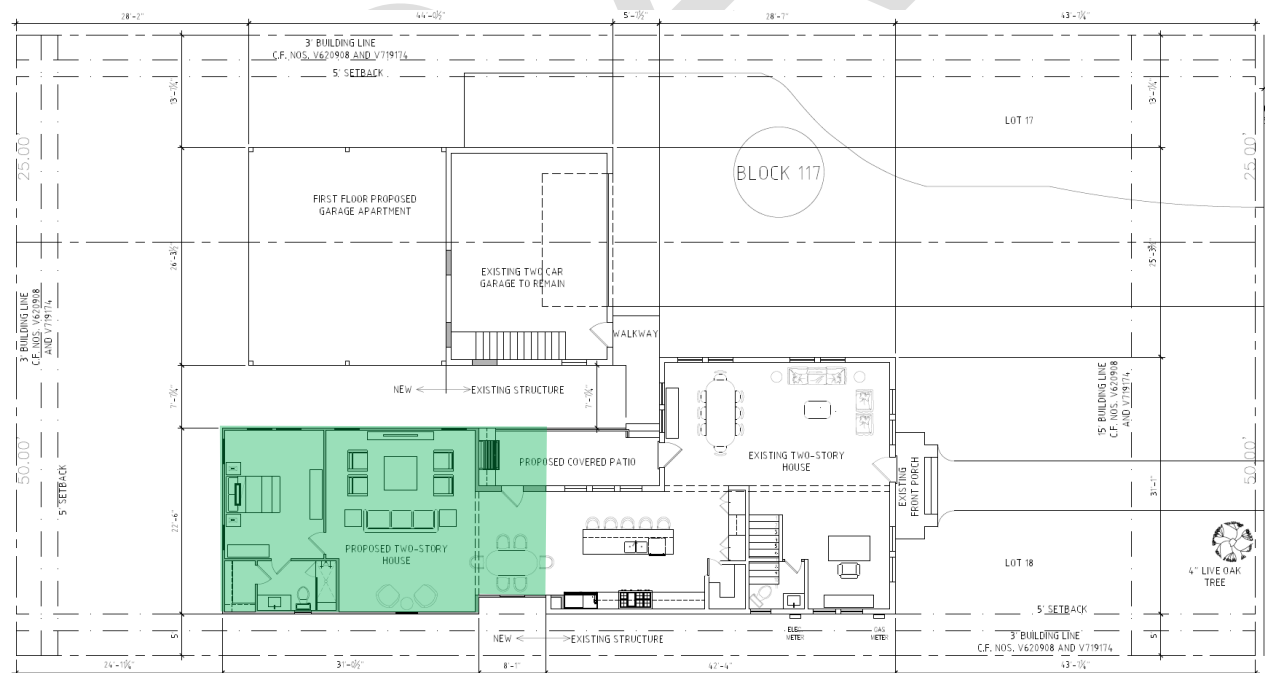
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SITE PLAN



EXISTING



PROPOSED



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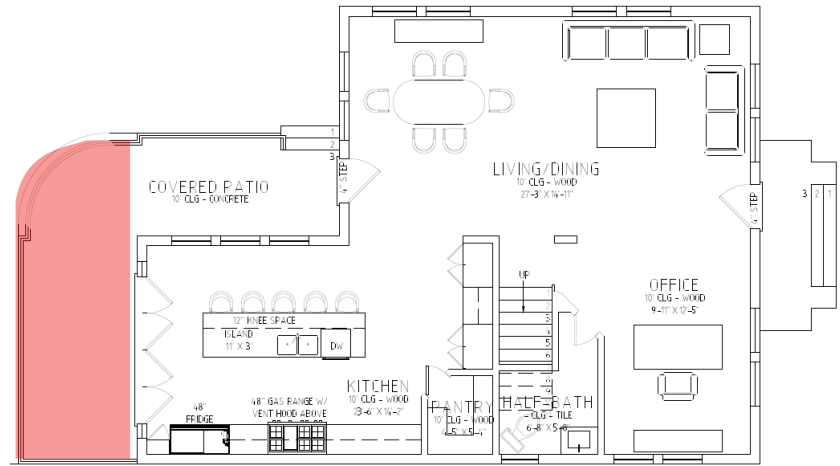
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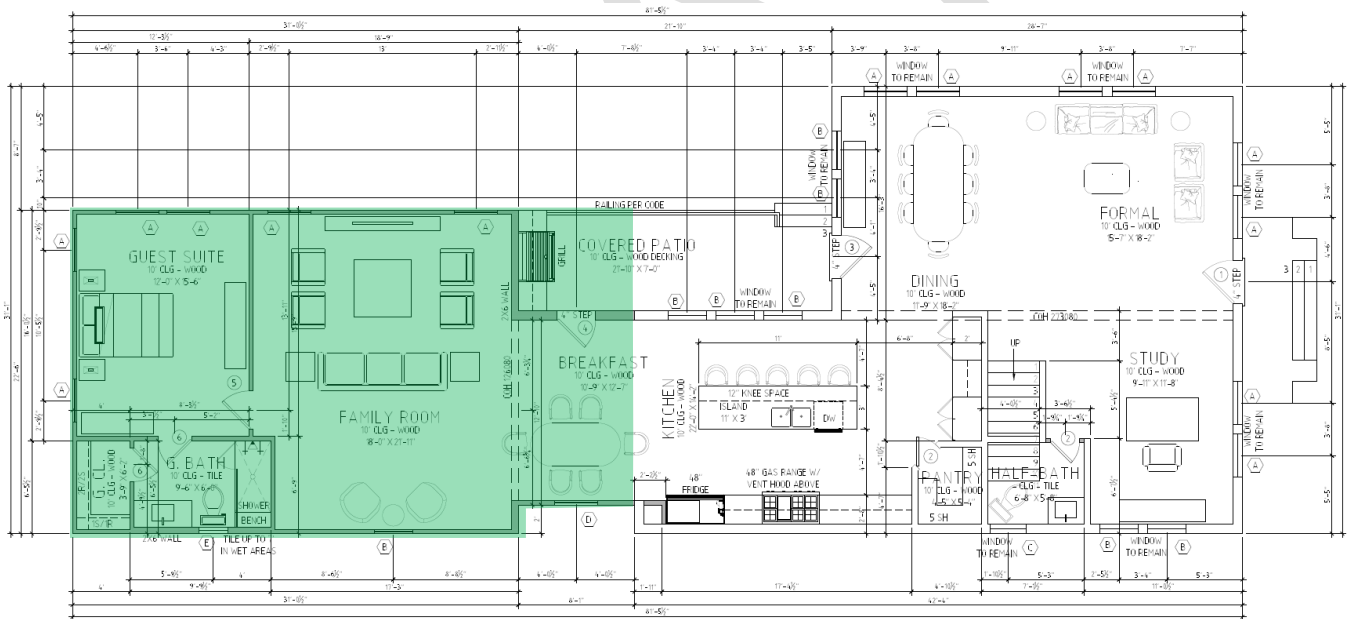
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FIRST FLOOR PLAN



EXISTING



PROPOSED



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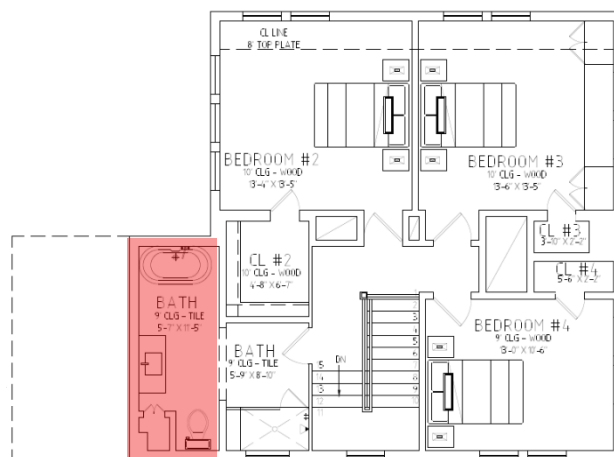
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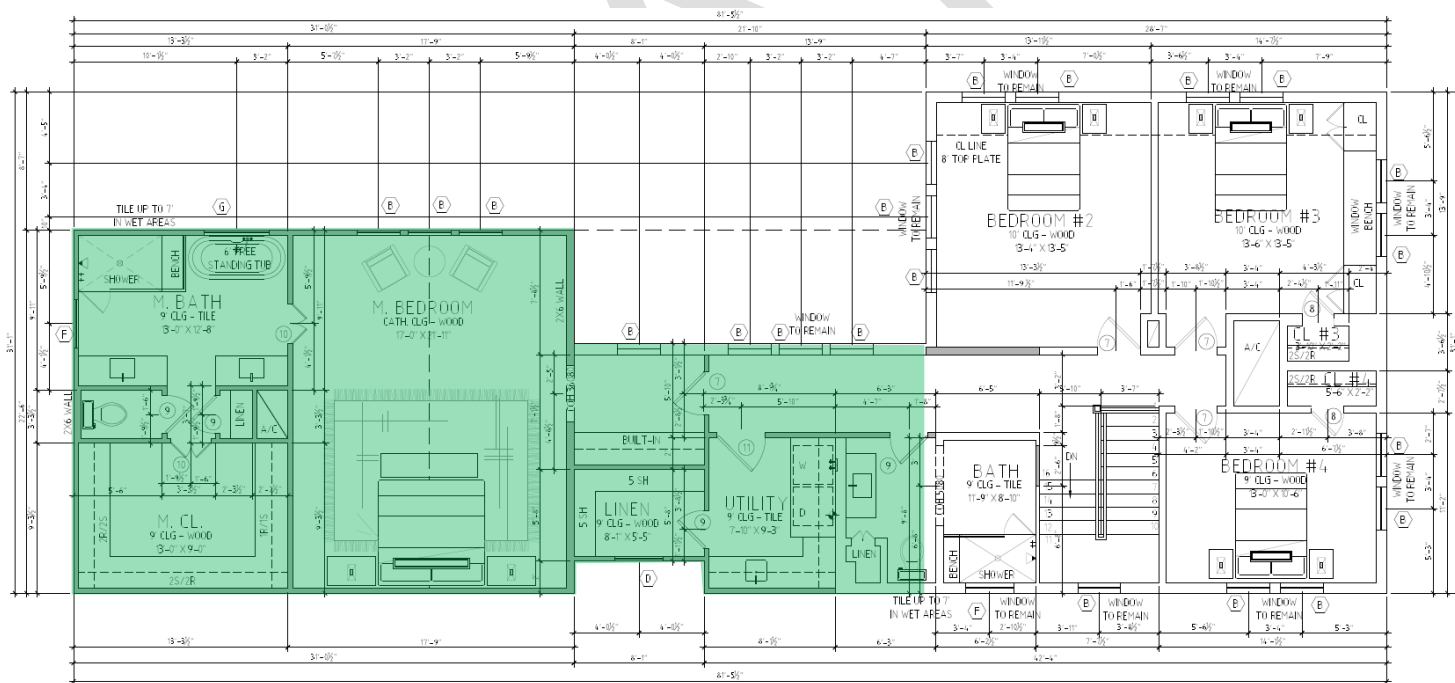
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SECOND FLOOR PLANS



EXISTING



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FRONT ELEVATIONS (NO CHANGE)



EXISTING



PROPOSED



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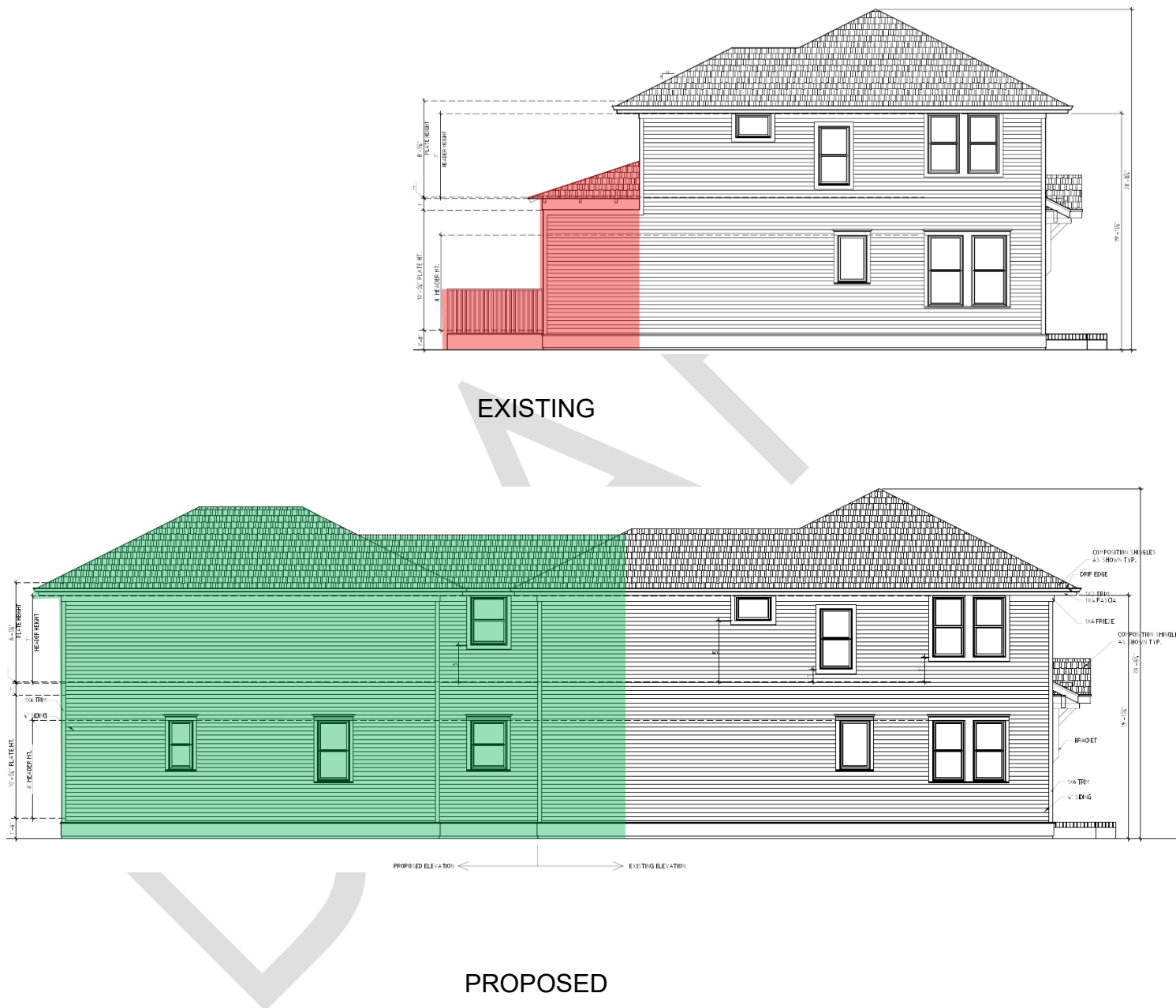
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LEFT ELEVATIONS





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RIGHT ELEVATIONS



EXISTING



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REAR ELEVATIONS



EXISTING



PROPOSED



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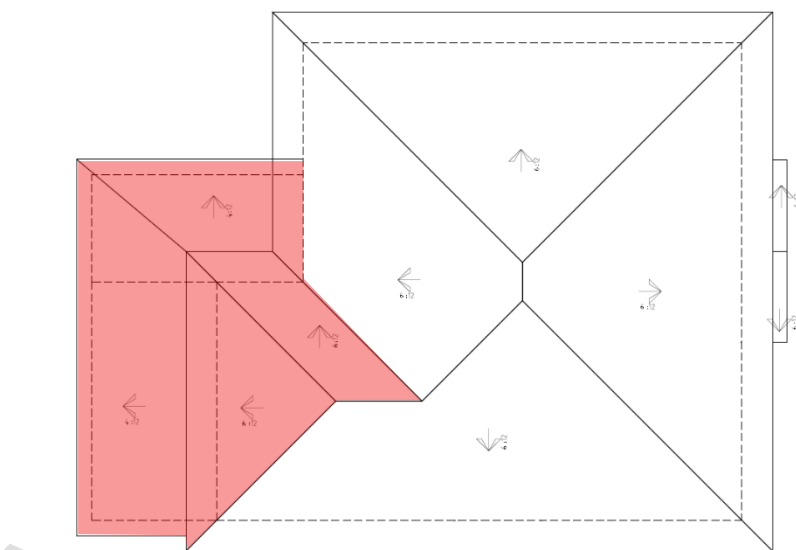
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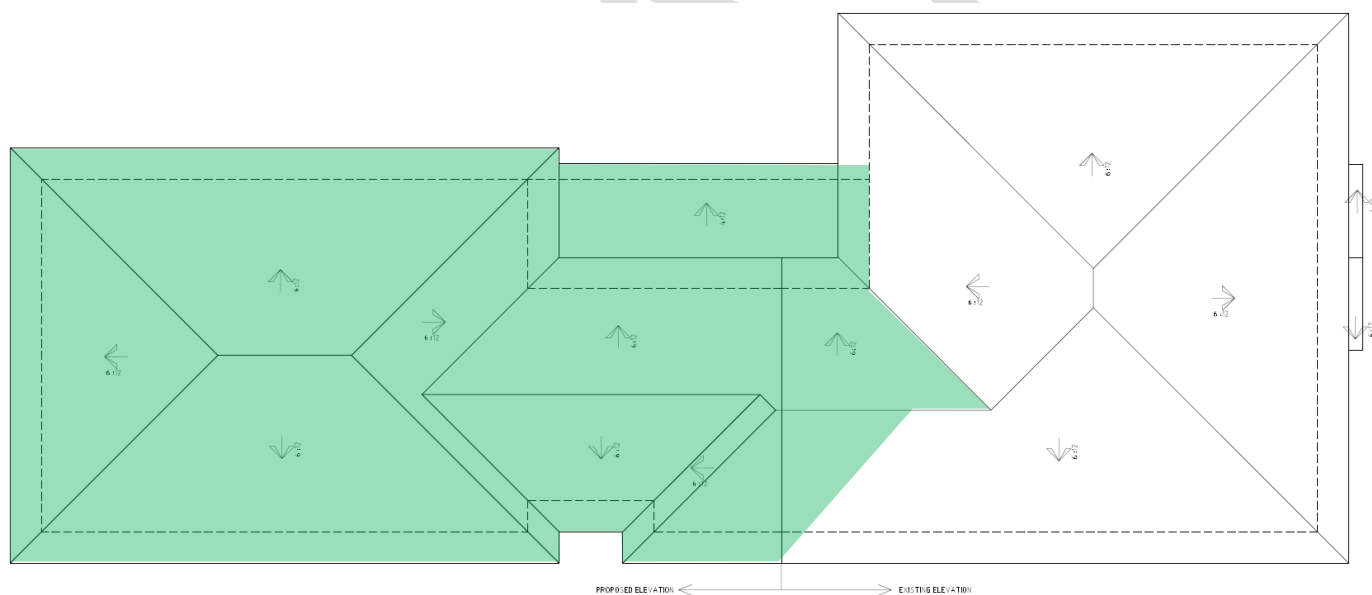
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ROOF PLAN



EXISTING



PROPOSED



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DOOR SCHEDULE

DOOR SCHEDULE				
DOOR NO.	QTY.	WIDTH	HEIGHT	
(1)	1	3'-0"	8'-0"	EXTERIOR FRONT DOOR
(2)	2	2'-0"	8'-0"	INTERIOR DOOR
(3)	1	3'-0"	8'-0"	EXTERIOR DOOR
(4)	1	2'-8"	8'-0"	EXTERIOR DOOR
(5)	1	2'-8"	8'-0"	INTERIOR DOOR
(6)	2	2'-4"	8'-0"	INTERIOR DOOR
(7)	4	2'-8"	6'-8"	INTERIOR DOOR
(8)	2	2'-0"	6'-8"	INTERIOR DOOR
(9)	4	2'-4"	6'-8"	INTERIOR DOOR
(10)	2	2'-1'-3"	6'-8"	DOUBLE INTERIOR DOOR
(11)	1	3'-0"	6'-8"	INTERIOR DOOR



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WINDOW SCHEDULE

CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



PLANNING &
DEVELOPMENT
DEPARTMENT

EXISTING WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Original/Replacement	Existing to Remain
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Original	No
A	Wood	8	SH	3'-0" x 6'-0"	Recessed	original	Yes
B	Wood	24	SH	2'-8" x 5'-0"	Recessed	original	Yes
C	Wood	1	SH	2'-6" x 4'-0"	Recessed	original	Yes
F	Wood	1	SH	3'-0" X 2'-0"	Recessed	original	Yes

DAMAGE TO EXISTING WINDOWS	
Window	Describe Damage
Ex. A1	Glass is broke, window is inoperable, rail is rotten, and frame is broken

PROPOSED WINDOW SCHEDULE							
Window	Material	Lite Pattern	Style	Dimensions	Recessed/Inset	Brand/Vendor	Other
Ex. A1	Wood	1/1	DH	32 x 66	Recessed	Plygem	
A	Wood	6	SH	3'-0" X 6'-0"	Recessed	Marvin Windows	
B	Wood	5	SH	2'-8" x 5'-0"	Recessed	Marvin Windows	
D	Wood	2	SH	3'-0" x 4'-0"	Recessed	Marvin Windows	
E	Wood	1	SH	2'-0" x 4'-0"	Recessed	Marvin Windows	
F	Wood	1	SH	3'-0" x 2'-0"	Recessed	Marvin Windows	Tempered
G	Wood	1	SH	4'-0" x 4'-0"	Recessed	Marvin Windows	Tempered

- Must include photos of all windows with labels indicated on this sheet
 - Must include manufacture's specifications and details for all proposed windows
- *** Use additional sheets as necessary



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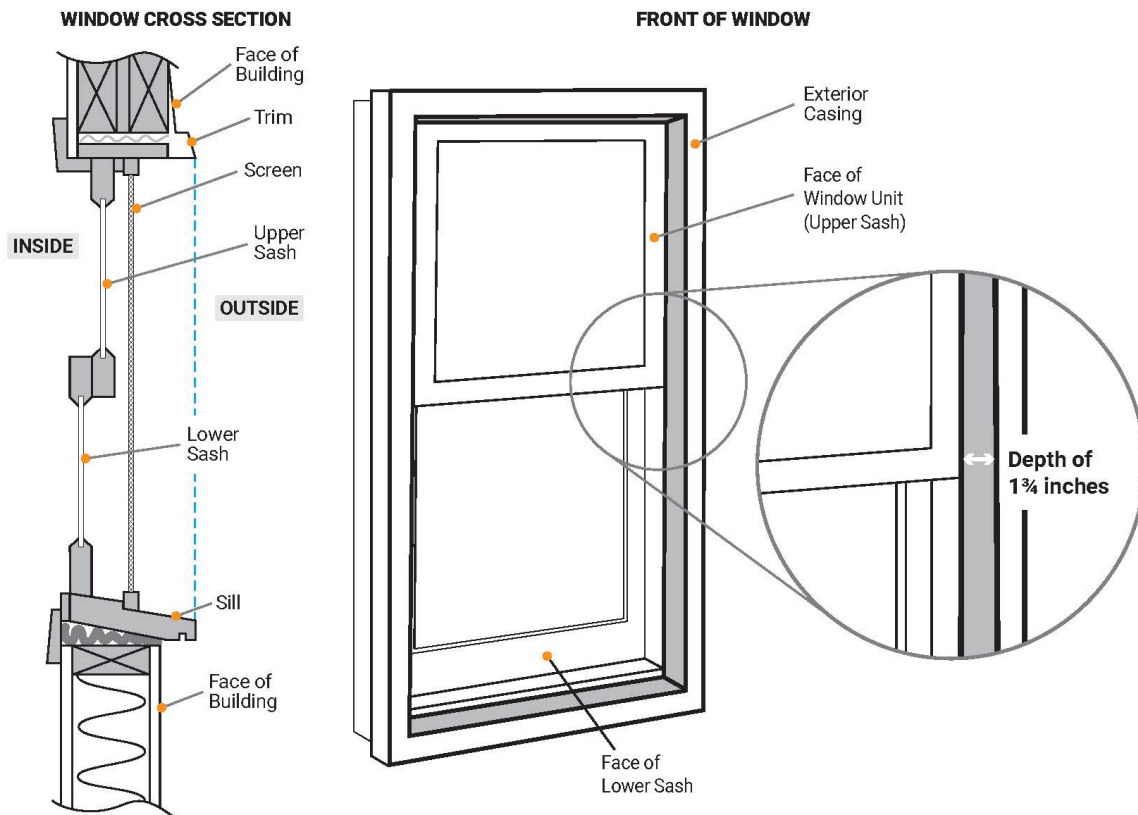
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ATTACHMENT A



Historic Window Standard: New Construction & Replacement



Minimum 1 $\frac{3}{4}$ inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 $\frac{3}{4}$ inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation



832-393-6556



historicpreservation@houstontx.gov