



ITEM E06
HPO File #: HP2026_0217

August 13, 2025

1424 Ashland St
Houston Heights West

CERTIFICATE OF APPROPRIATENESS

Applicant: Toufic Halabi, agent for Michele Stanley, owner

Property: 1424 Ashland Street, Lot 27 & Tract 26, Block 152, Houston Heights Neighborhood Subdivision. The property includes a potentially contributing 1,766.48 square foot one-story single-family residence situated on a 6,600 square foot (132'x50') interior lot.

Significance: Contributing craftsman single-family residence, constructed in 1920, located in the Houston Heights West historic district.

Proposal: Alteration: The applicant is proposing a two-story addition to the rear of the existing house.

Original Structure:

- Demolish non-original addition to the back of the existing house.
- Remove non-original porch and restore original porch.
 - Proposed front porch 215 sq. ft.
- Replace non-original front door with appropriate front door.
- Build 70 sq. ft. back porch in the rear.
- Existing 117 siding to remain (repair and replace as needed).

Rear and partial second story addition:

- 2-story addition at the rear of the existing house.
 - First floor 785 sq. ft.
 - Second floor 1,070 sq. ft.
- Roof pitch 7/12, hip/gable roof, asphalt shingles to match original.
- To be clad in 1x6 smooth cementitious siding.

Minimum 1¾ inch Inset

- Depth from Exterior Casing to the face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 if single or double-hung and equally horizontally divided
- 1¾ inch minimum inset for Fixed Window

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | | |
|---|---|
| ☒ ☐ ☐ | (1) The proposed activity must retain and preserve the historical character of the property; |
| ☒ ☐ ☐ | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| ☒ ☐ ☐ | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| ☒ ☐ ☐ | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| ☒ ☐ ☐ | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| ☒ ☐ ☐ | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| ☒ ☐ ☐ | (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| ☒ ☐ ☐ | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| ☒ ☐ ☐ | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements and must be compatible with the size, scale, material and character of the property and the area in which it is located; |
| ☒ ☐ ☐ | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area |
| ☒ ☐ ☐ | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |



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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

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Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 1,876

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Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,904



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Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

South Side Wall Length: 30'-11"

Inset depth on South side: 2'

Inset width on South side: 6'

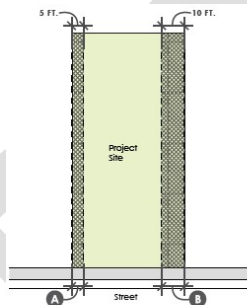
North Side Wall Length: 28'-2"

Inset depth on North side: 2'

Inset width on North side: 8'

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Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed South side setback (1): 15'-4 1/2"

Proposed North side setback (2): 3'-9"

Cumulative side setback: 56'-5 1/2"



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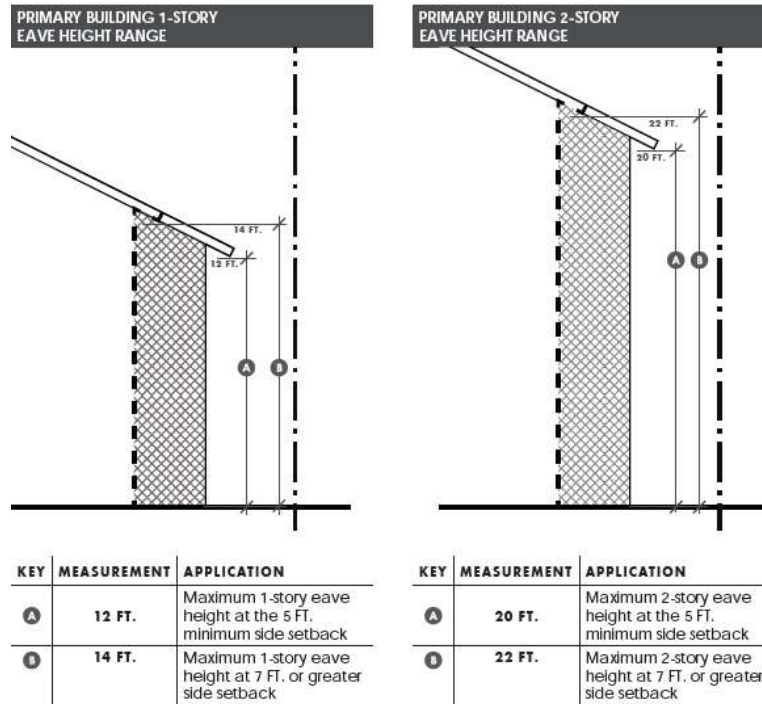
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Eave Height (Addition and New Construction)



Proposed eave height: 19'-5"



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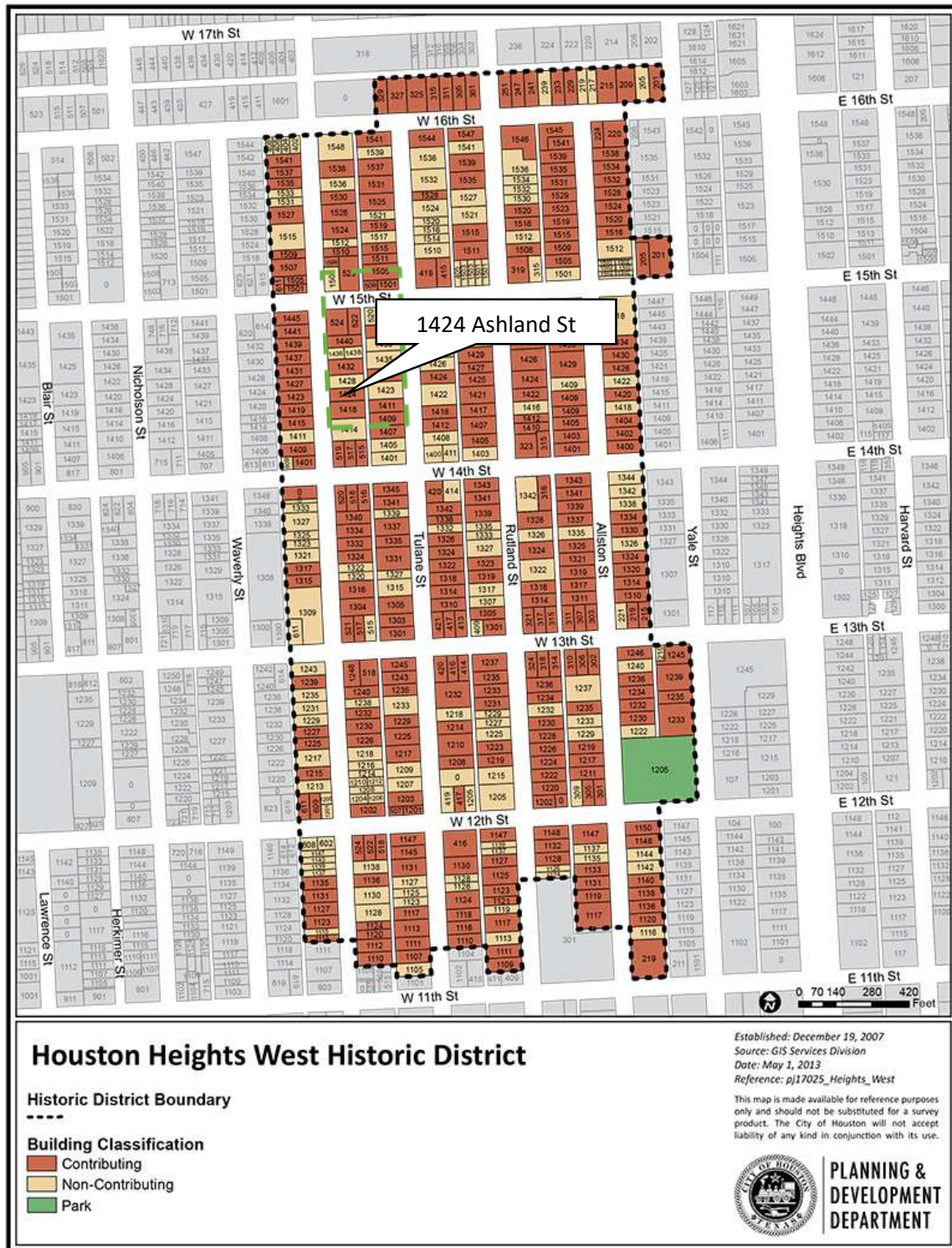
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PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT WEST





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INVENTORY PHOTO



CURRENT PHOTO





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SANBORN MAP





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CONTEXT AREA

Street Views



Figure 1_street view with 1428 Ashland neighbors to the left



Figure 2_Street view with contributing 1423 Ashland across the street



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CONTEXT AREA



Figure 3_1418 Ashland St (contributing) neighbors to the right



Figure 4_1427 Ashland (left) and 1431 Ashland (right), contributing, across the street

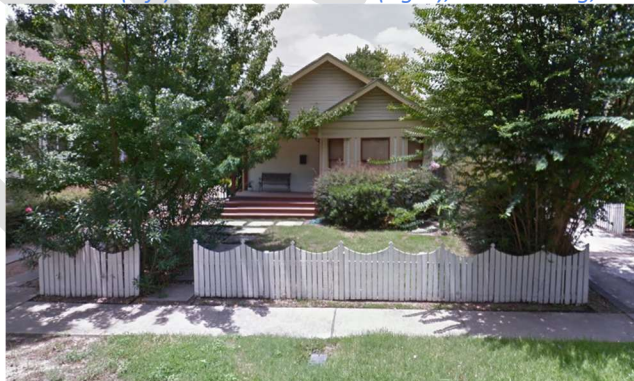


Figure 5_1419 Ashland, contributing, across the street



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EXISTING PHOTOS





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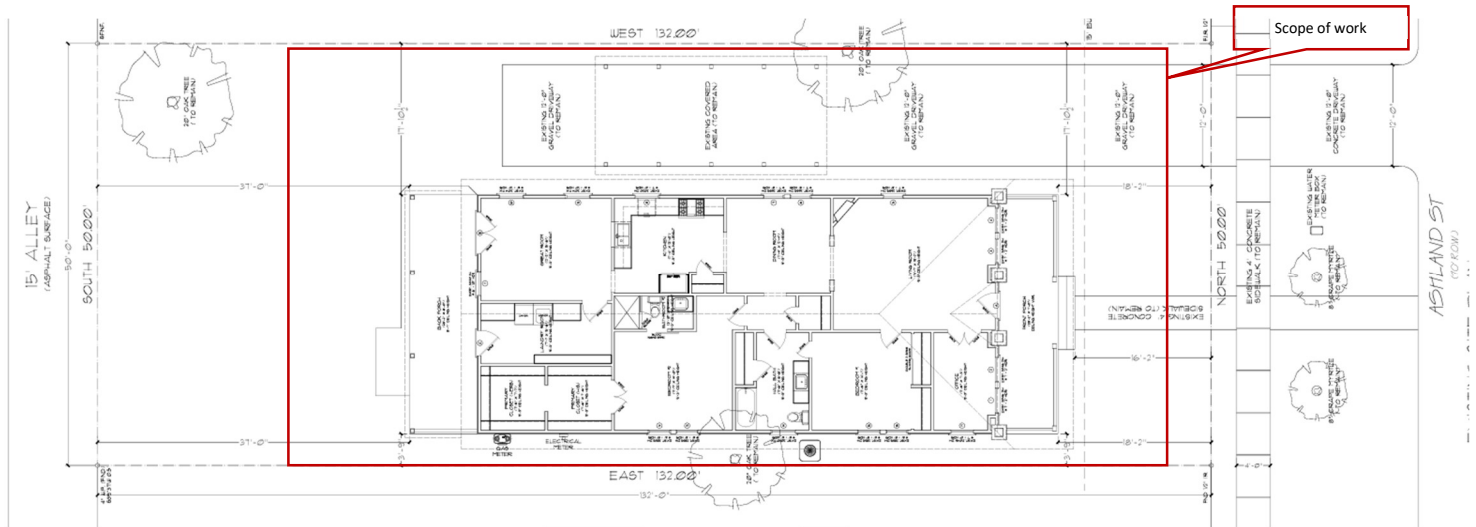
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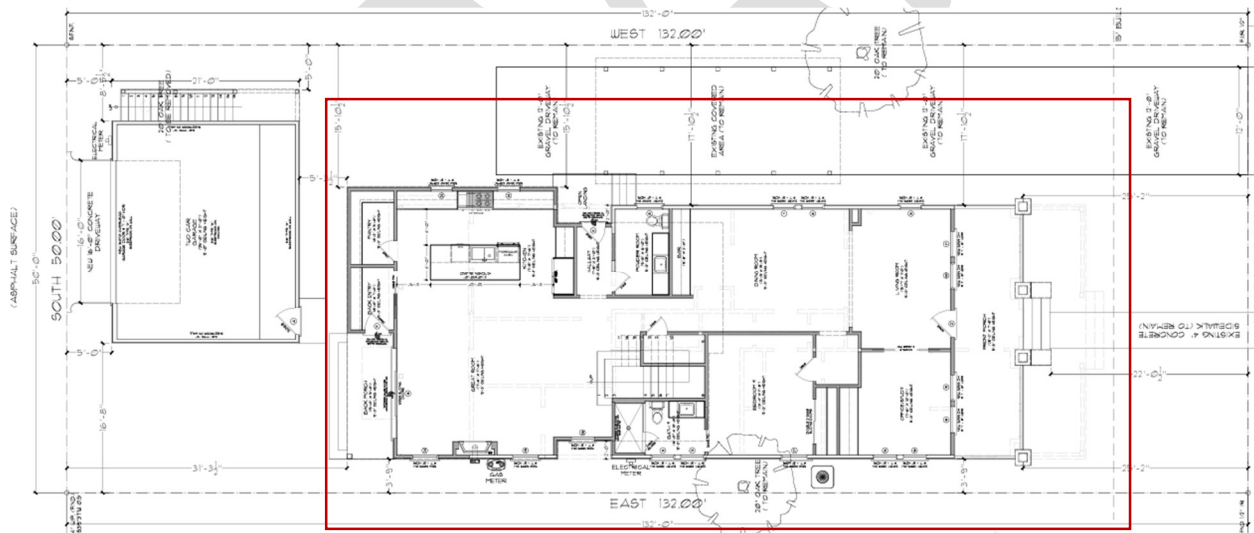
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SITE PLAN

EXISTING



PROPOSED





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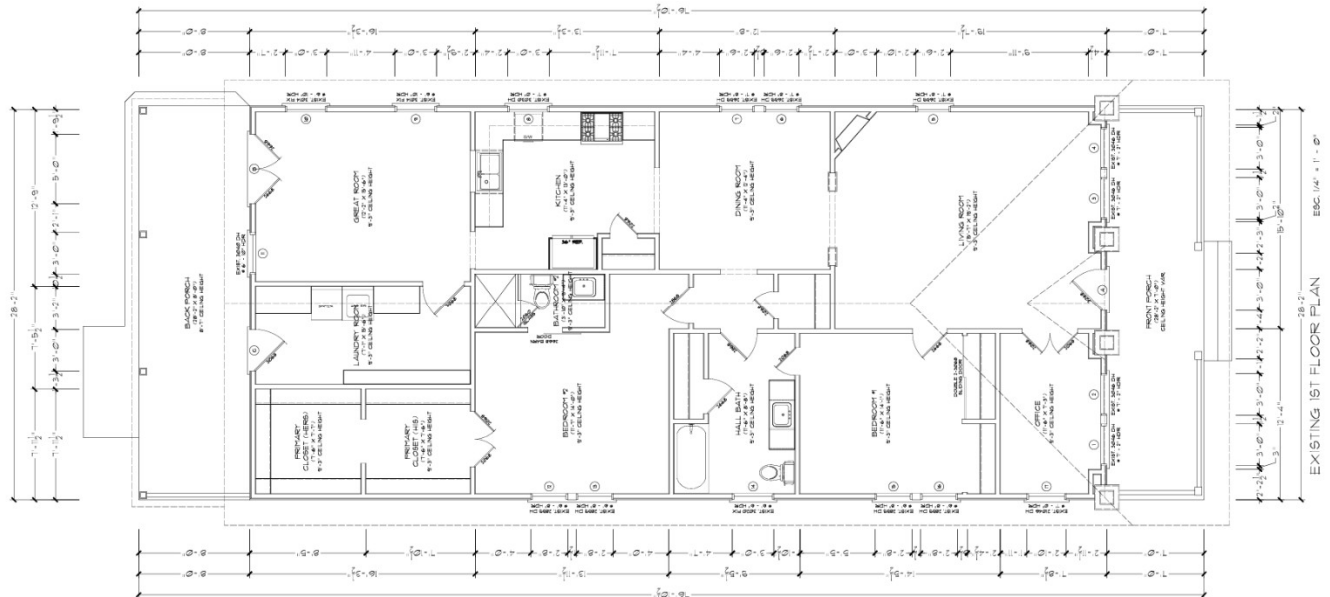
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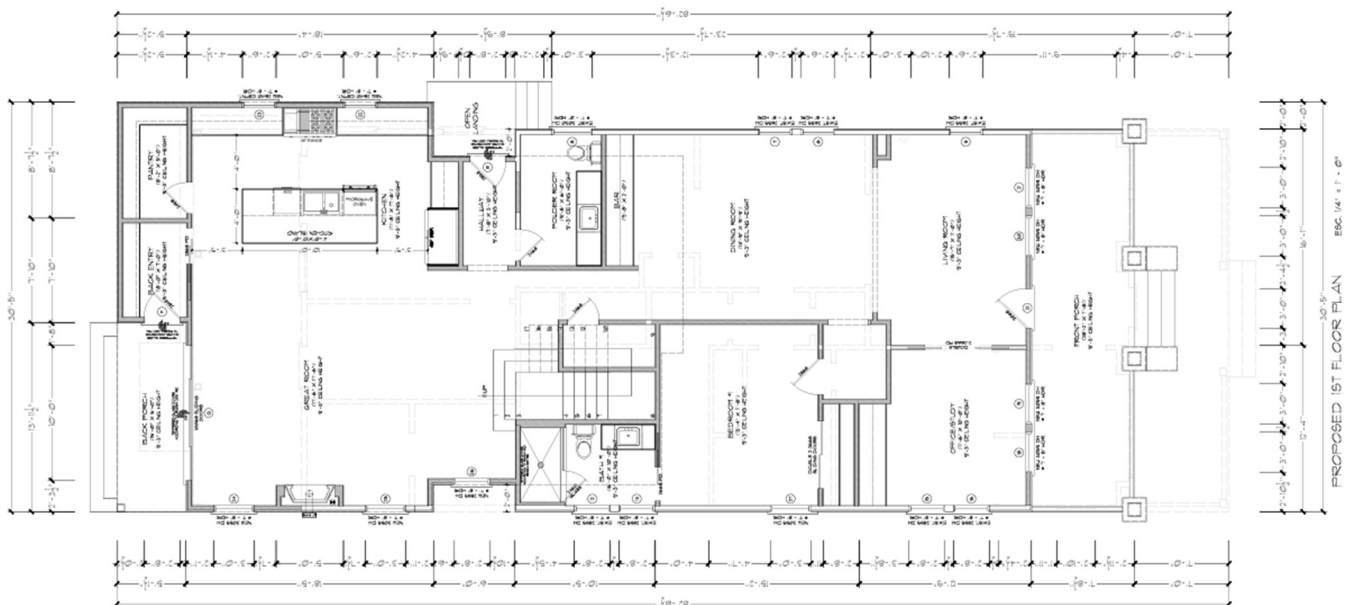
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FIRST FLOOR PLAN

EXISTING



PROPOSED





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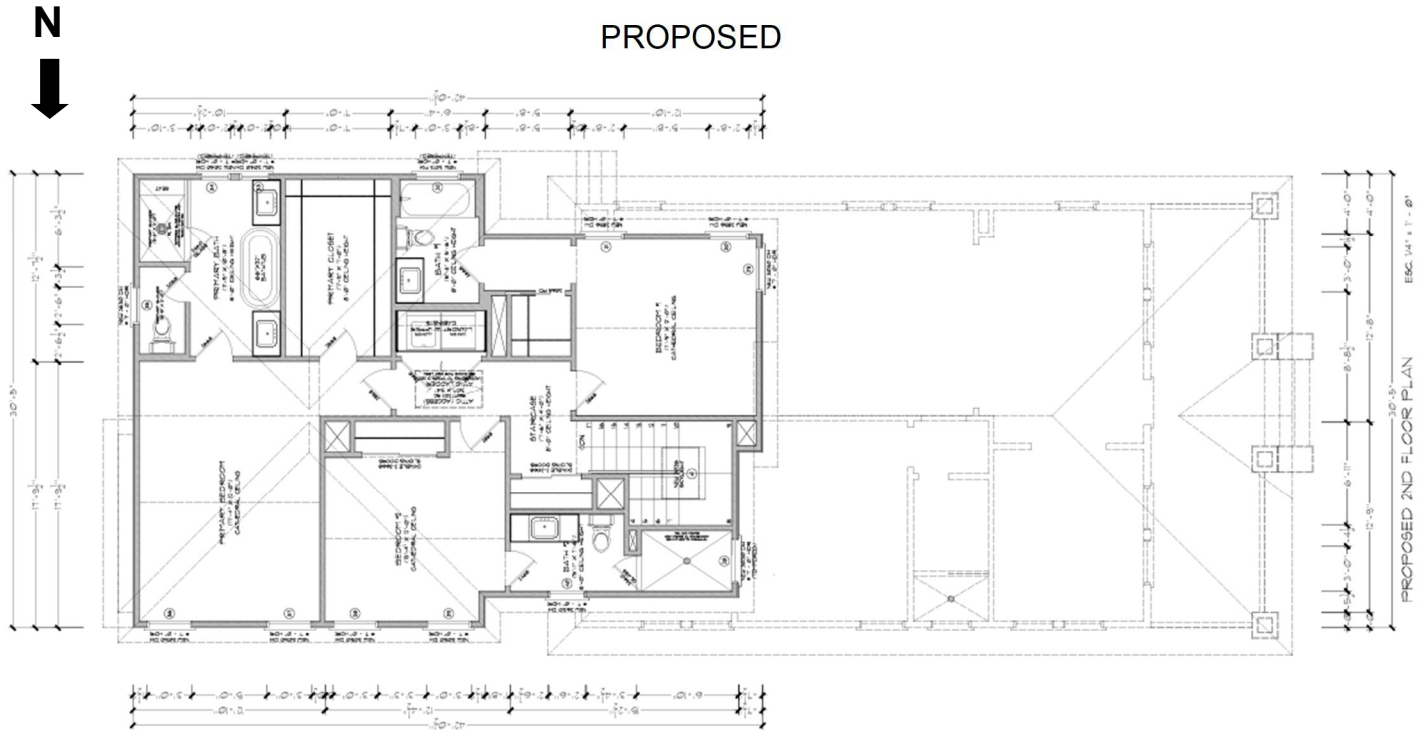
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SECOND FLOOR PLAN

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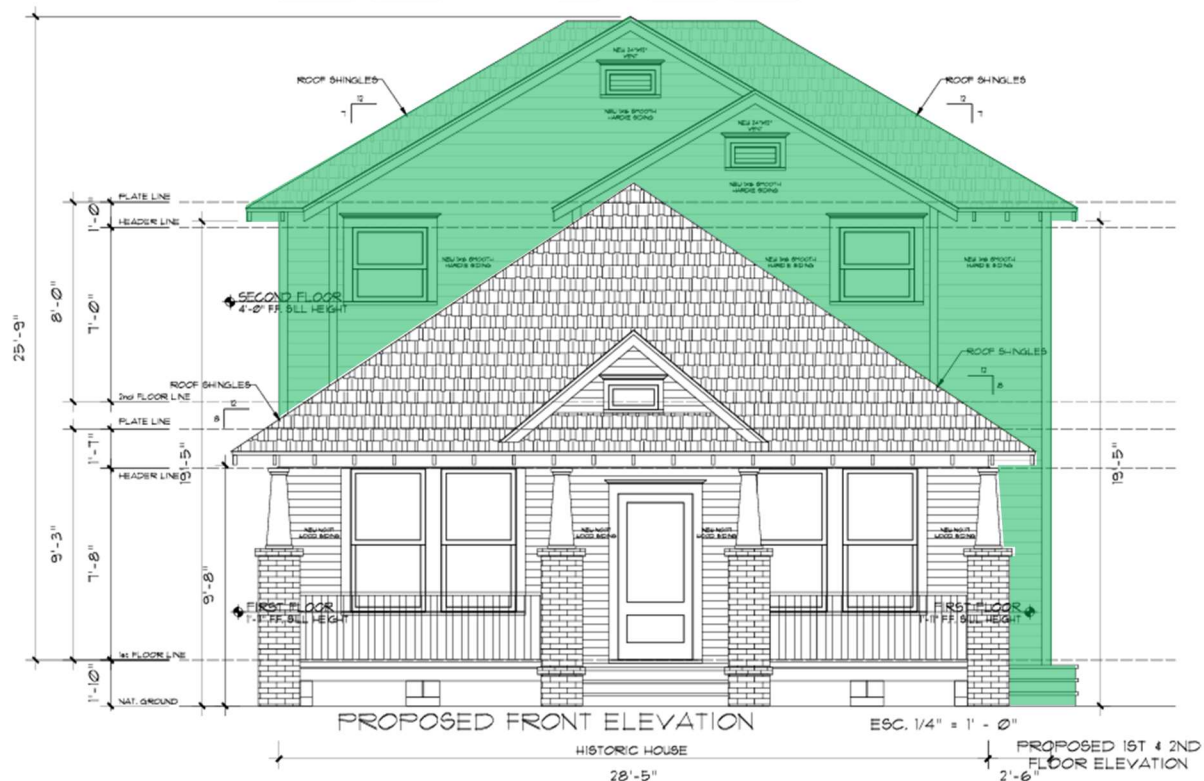
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FRONT ELEVATIONS

EXISTING



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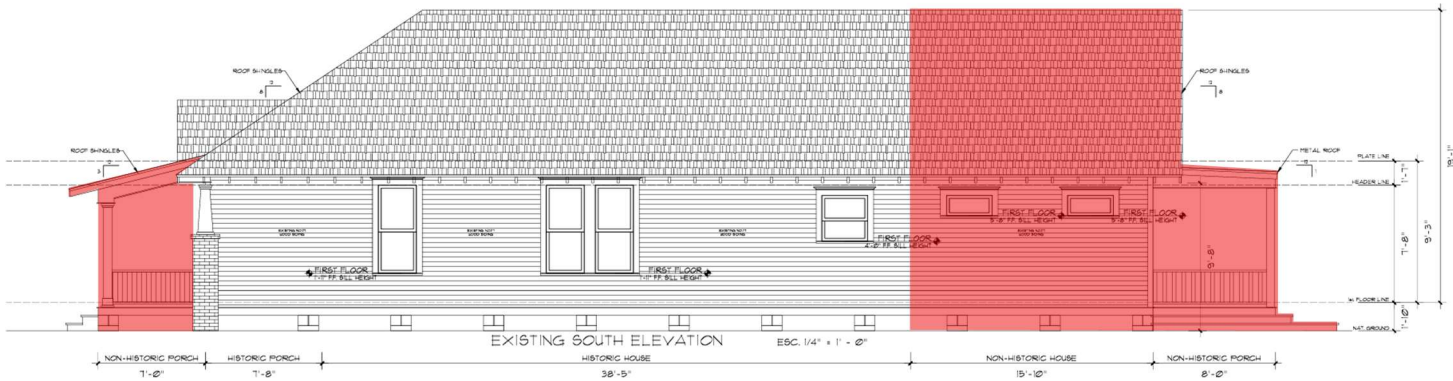
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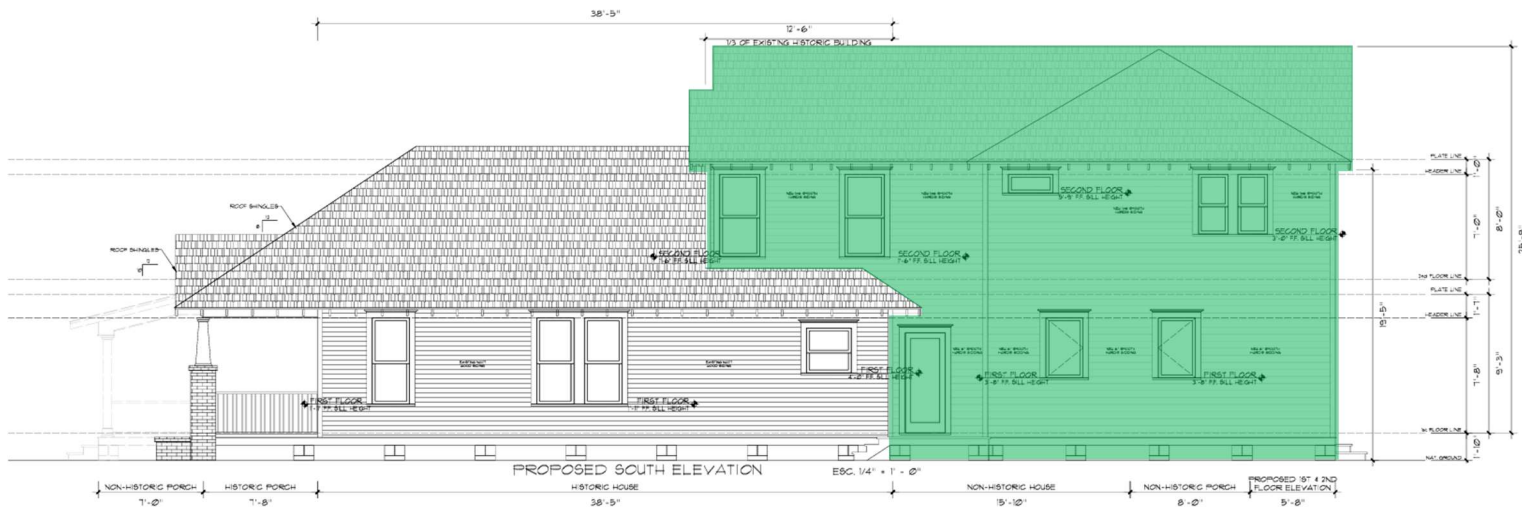
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SOUTH ELEVATIONS

EXISTING



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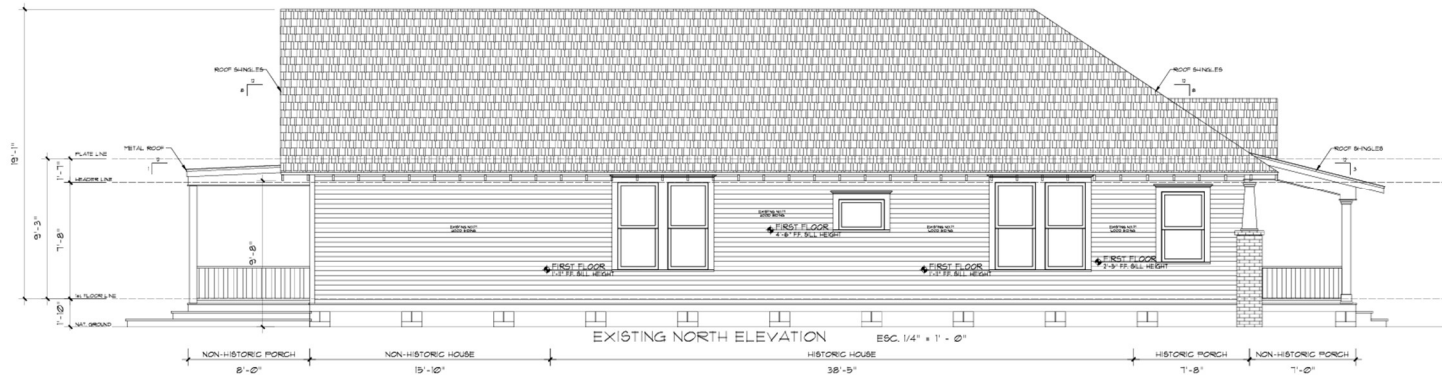
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NORTH ELEVATION

EXISTING



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WINDOW & DOOR SCHEDULES

EXISTING

EXISTING DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	MATERIAL	GLASS	EXISTING TO REMAIN
(A)	EXISTING	3'-0"	6'-8"	WOOD FRAME	TEMPERED	NO
(B)	EXISTING	5'-0"	6'-8"	WOOD FRAME	FIBERGLASS	NO
(C)	EXISTING	2'-8"	6'-8"	WOOD FRAME	FIBERGLASS	NO

EXISTING WINDOW SCHEDULE

MARK	LITE PATTERN	STYLE	DIMENSIONS	MATERIAL	MOUNTING PROFILE	EXISTING TO REMAIN
1ST FLOOR						
(1)	1/1	DH	36"X54"	WOOD FRAME	RECESSED	NO
(2)	1/1	DH	36"X54"	WOOD FRAME	RECESSED	NO
(3)	1/1	DH	36"X54"	WOOD FRAME	RECESSED	NO
(4)	1/1	DH	36"X54"	WOOD FRAME	RECESSED	NO
(5)	1/1	DH	30"X69"	WOOD FRAME	RECESSED	YES
(6)	1/1	DH	30"X69"	WOOD FRAME	RECESSED	YES
(7)	1/1	DH	30"X69"	WOOD FRAME	RECESSED	YES
(8)	1/1	DH	36"X36"	WOOD FRAME	RECESSED	YES
(9)	1/0	FIXED	36"X16"	WOOD FRAME	RECESSED	NO
(10)	1/0	FIXED	36"X16"	WOOD FRAME	RECESSED	NO
(11)	1/1	DH	36"X48"	WOOD FRAME	RECESSED	NO
(12)	1/1	DH	32"X69"	WOOD FRAME	RECESSED	YES
(13)	1/1	DH	32"X69"	WOOD FRAME	RECESSED	YES
(14)	1/0	FIXED	36"X24"	VINYL FRAME	RECESSED	NO
(15)	1/1	DH	32"X69"	WOOD FRAME	RECESSED	YES
(16)	1/1	DH	32"X69"	WOOD FRAME	RECESSED	YES
(17)	1/1	DH	34"X54"	WOOD FRAME	RECESSED	NO

PROPOSED

NEW DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	MATERIAL	GLASS	EXISTING TO REMAIN
(D)	LH	3'-0"	6'-8"	WOOD FRAME	TEMPERED	NEW
(E)	RH	2'-8"	6'-8"	FIBERGLASS	TEMPERED	NEW
(F)	RH	2'-8"	6'-8"	FIBERGLASS	TEMPERED	NEW
(F)	SLIDING	10'-0"	6'-8"	FIBERGLASS	TEMPERED	NEW

NEW WINDOW SCHEDULE

MARK	LITE PATTERN	STYLE	DIMENSIONS	MATERIAL	MOUNTING PROFILE	EXISTING TO REMAIN
1ST FLOOR						
(18)	1/1	DH	36"X69"	FIBREX	RECESSED	NEW
(19)	1/1	DH	36"X69"	FIBREX	RECESSED	NEW
(20)	1/1	DH	36"X69"	FIBREX	RECESSED	NEW
(21)	1/1	DH	36"X69"	FIBREX	RECESSED	NEW
(22)	1/1	CASEMENT	30"X48"	FIBREX	RECESSED	NEW
(23)	1/1	CASEMENT	30"X48"	FIBREX	RECESSED	NEW
(24)	1/1	DH	36"X69"	FIBREX	RECESSED	NEW
(25)	1/1	DH	36"X69"	FIBREX	RECESSED	NEW
(26)	1/1	DH	36"X69"	FIBREX	RECESSED	NEW
(27)	1/1	DH	36"X69"	FIBREX	RECESSED	NEW
2ND FLOOR						
(28)	1/1	DH	36"X36"	FIBREX	RECESSED	NEW
(29)	1/1	DH	36"X36"	FIBREX	RECESSED	NEW
(30)	1/1	DH	32"X66"	FIBREX	RECESSED	NEW
(31)	1/1	DH	32"X66"	FIBREX	RECESSED	NEW
(32)	1/0	FIX	30"X15"	FIBREX	RECESSED	NEW
(33)	1/1	DH	24"X48"	FIBREX	RECESSED	NEW
(34)	1/1	DH	24"X48"	FIBREX	RECESSED	NEW
(35)	1/1	DH	30"X36"	FIBREX	RECESSED	NEW
(36)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(37)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(38)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(39)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(40)	1/1	DH	30"X36"	FIBREX	RECESSED	NEW
(41)	1/1	SKYLIGHT	30"X42"	FIBREX	RECESSED	NEW





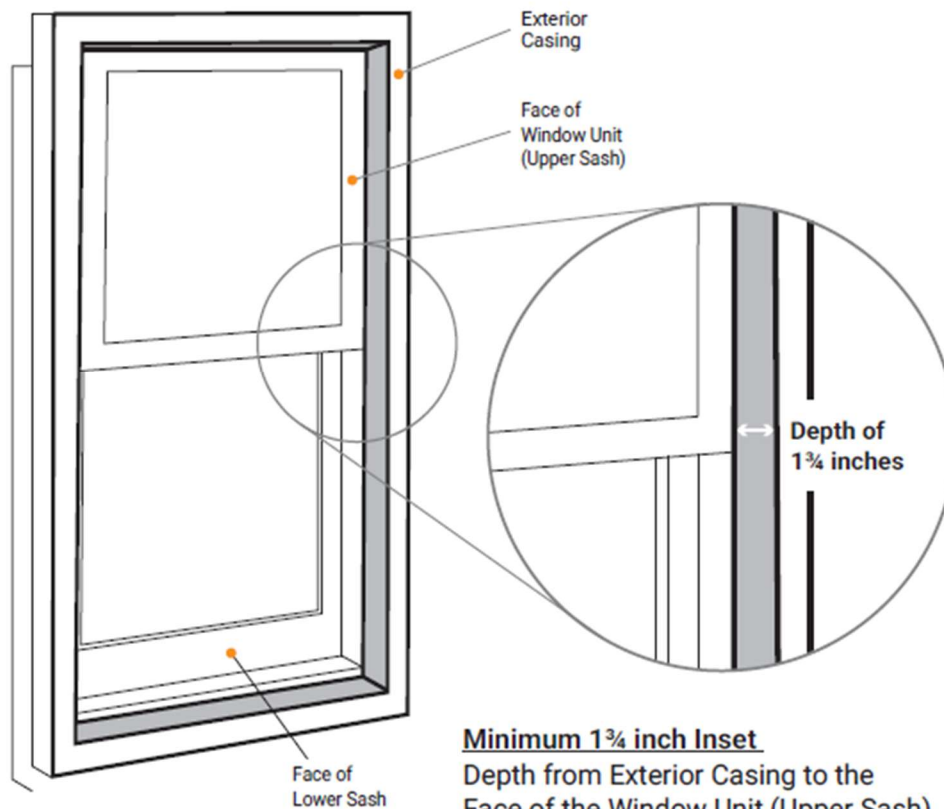
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Historic Window Standard: New Construction & Replacement



Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:
Houston Office of Preservation
832-393-6556
historicpreservation@houstontx.gov



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AREA CALCULATIONS

CALCULATION OF FLOOR AREA RATIO - HEIGHTS

LOT AREA -----	6,600.00 SQ. FT.
FIRST & SECOND FLOOR AREA-----	2,904 SQ. FT.
DETACHED GARAGE (OVER 528 SQF)---	0 SQ. FT.
DETACHED GARAGE APT (OVER 528 SQF)---	0 SQ. FT.
TOTAL FLOOR AREA----	2,904 SQ. FT.
PERCENT OF FLOOR AREA RATIO (44% MAX)-	44.002%

EXISTING 1ST FLOOR LIVING AREA = 1,288.00 SqF
EXISTING 1ST FLOOR LIVING AREA (TO BE REMOVED) = 239.00 SqF
EXISTING FRONT PORCH AREA (TO BE REMOVED) = 200.00 SqF
PROPOSED 1ST FLOOR LIVING AREA = 785.00 SqF
PROPOSED 2ND FLOOR LIVING AREA = 1,070.00 SqF
PROPOSED FRONT PORCH AREA = 215.00 SqF
PROPOSED BACK PORCH AREA = 70.00 SqF
TOTAL 1ST & 2ND FLOOR LIVING AREA = 2,904.00 SqF
TOTAL COVERED PORCH/PATIO AREA = 285.00 SqF

CALCULATION OF LOT COVERAGE - HEIGHTS

LOT AREA -----	6,600.00 SQ. FT.
FIRST FLOOR AREA-----	1,876 SQ. FT.
DETACHED GARAGE (OVER 528 SQF)----	0 SQ. FT.
TOTAL LOT COVERAGE AREA----	1,876 SQ. FT.
PERCENT OF LOT COVERAGE AREA (40% MAX)-	28.24%

CALCULATION IMPERVIOUS COVERAGE - COH

LOT AREA -----	6,600.00 SQ. FT.
HOUSE & GARAGE AREA-----	2,397 SQ. FT.
PORCH & DECK (STOOPS) AREA-----	285 SQ. FT.
DRIVEWAY, SIDEWALKS & STEPS-----	1,096 SQ. FT.
TOTAL IMPERVIOUS AREA----	3,778 SQ. FT.
PERCENT OF IMPERVIOUS AREA (65% MAX)-	57.24%