



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

ITEM E05
HPO File #: HP2026_0219

August 13, 2025

1424 Ashland St
Houston Heights West

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Applicant: Toufic Halabi, agent for Michele Stanley, owner

Property: 1424 Ashland Street, Lot 27 & Tract 26, Block 152, Houston Heights Neighborhood Subdivision. The property includes a potentially contributing 1,766.48 square foot one-story single-family residence situated on a 6,600 square foot (132'x50') interior lot.

Significance: Contributing craftsman single-family residence, constructed in 1920, located in the Houston Heights West historic district.

Proposal: New Construction: The applicant is proposing a two-story detached garage to the rear of the existing house.

Garage:

- 2-story addition at the rear of the existing house
 - First floor 525 sq. ft.
 - Second floor 525 sq. ft.
- Max ridge height of 24'-8" and max eave height of 18'-11"
- Roof pitch 6/12, gable, asphalt shingles
- Cladding on the garage will be 1x6 smooth cementitious siding

Minimum 1¾ inch Inset

- Depth from Exterior Casing to the face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 if single or double-hung and equally horizontally divided
- 1¾ inch minimum inset for Fixed Window

Recommendation: Approval

HAHC Action: -



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APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | | | | |
|-------------------------------------|--------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area; |
| ☒ | ☐ | ☐ | (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area; |
| ☒ | ☐ | ☐ | (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions; |
| ☒ | ☐ | ☐ | (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district. |



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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

☒ ☐ ☐ Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 1,876

☒ ☐ ☐ Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,904



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☒ ☐ ☐

Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

South Side Wall Length: 30'-11"

Inset depth on South side: 2'

Inset width on South side: 6'

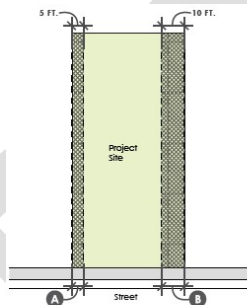
North Side Wall Length: 28'-2"

Inset depth on North side: 2'

Inset width on North side: 8'

☒ ☐ ☐

Side Setbacks (Addition and New Construction)



KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed South side setback (1): 15'-4 1/2"

Proposed North side setback (2): 3'-9"

Cumulative side setback: 56'-5 1/2"



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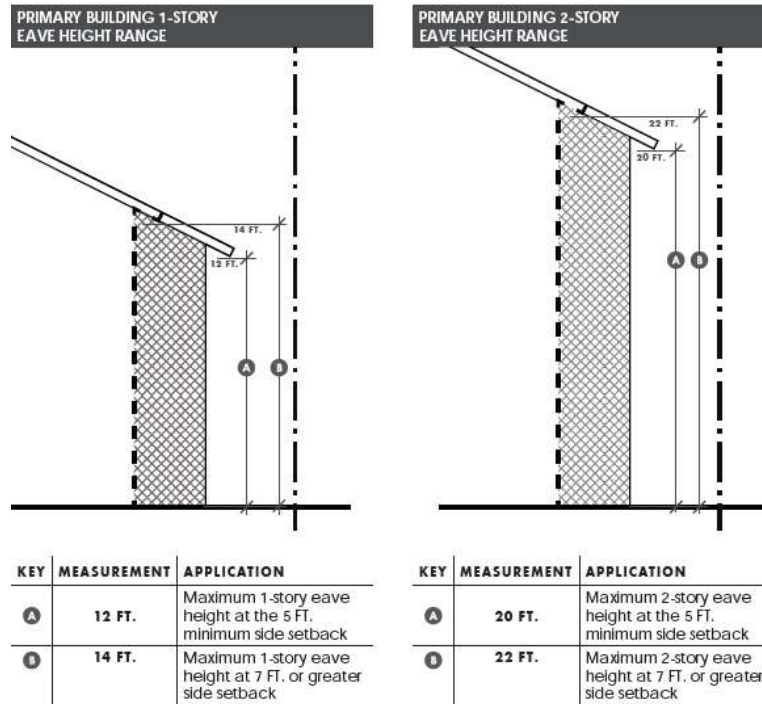
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Eave Height (Addition and New Construction)



Proposed eave height: 19'-5"



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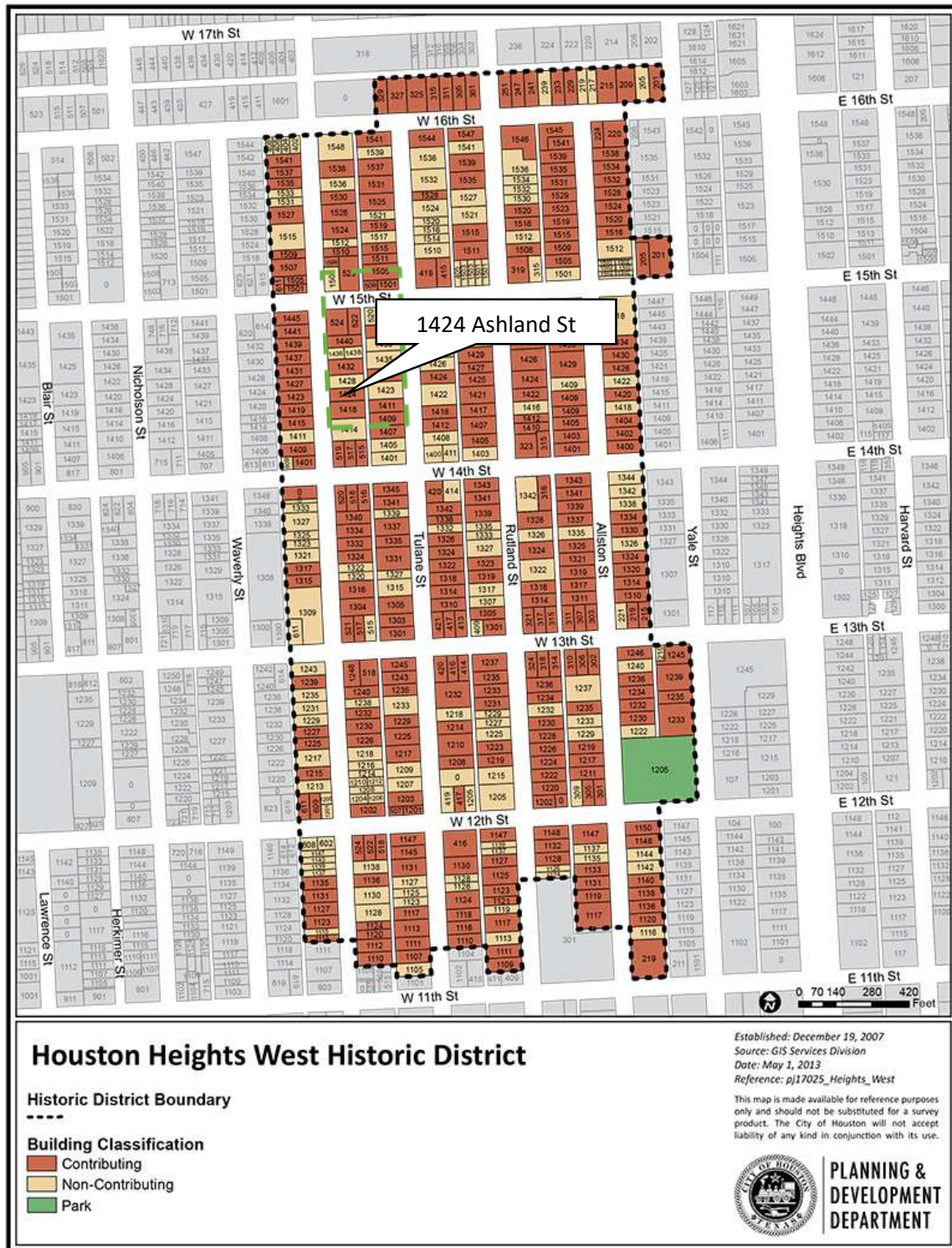
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PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT WEST





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INVENTORY PHOTO



CURRENT PHOTO





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SANBORN MAP





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CONTEXT AREA

Street Views



Figure 1_street view with 1428 Ashland neighbors to the left



Figure 2_Street view with contributing 1423 Ashland across the street



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CONTEXT AREA



Figure 3_1418 Ashland St (contributing) neighbors to the right



Figure 4_1427 Ashland (left) and 1431 Ashland (right), contributing, across the street

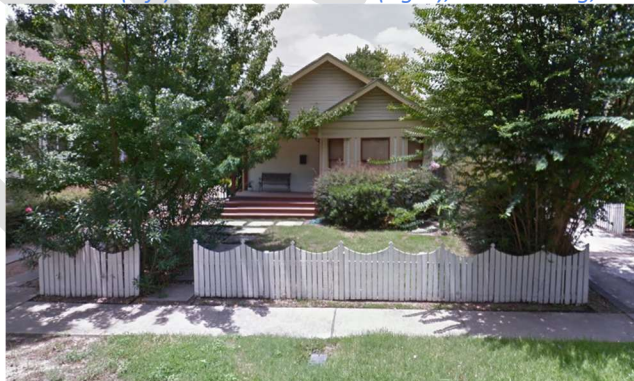


Figure 5_1419 Ashland, contributing, across the street



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EXISTING PHOTOS





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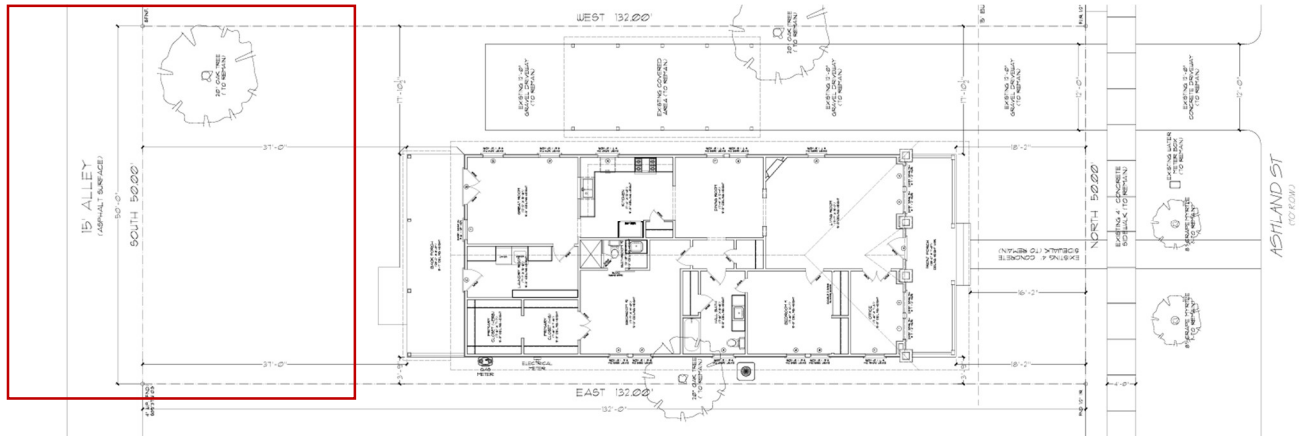
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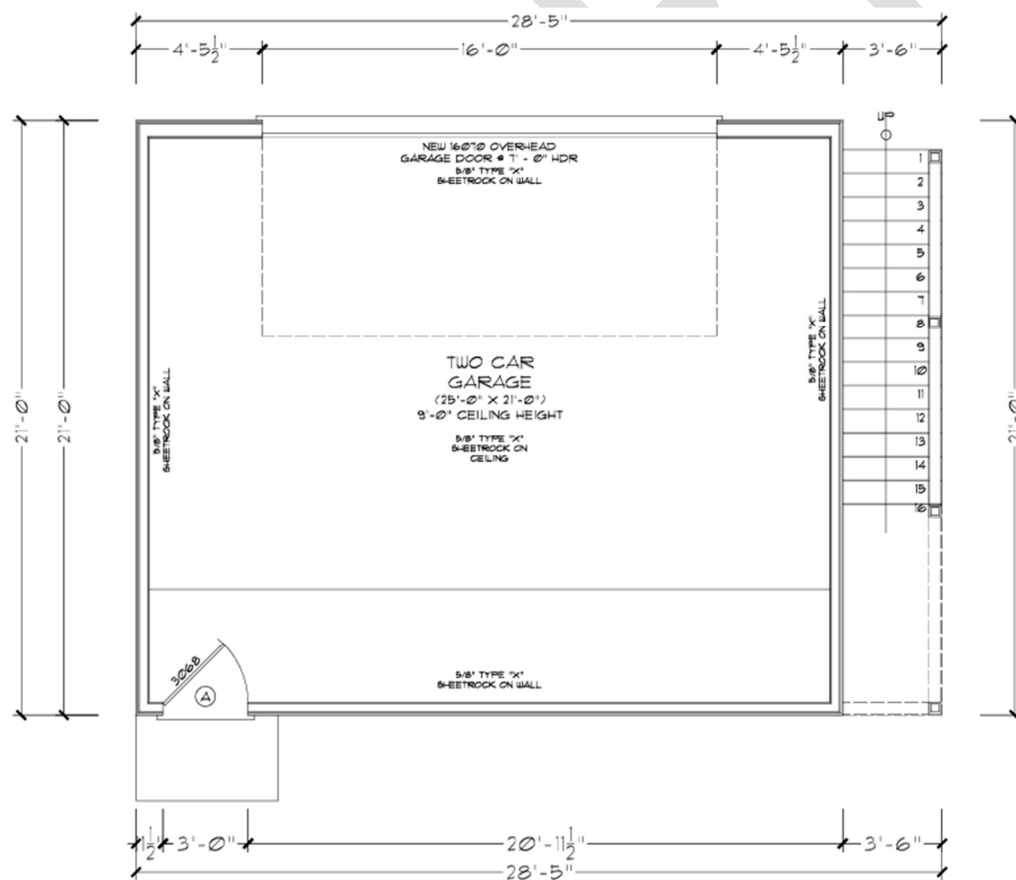
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FIRST FLOOR PLAN

EXISTING



PROPOSED



PROPOSED GARAGE 1ST FLOOR PLAN

ESC. 1/4" = 1' - 0"



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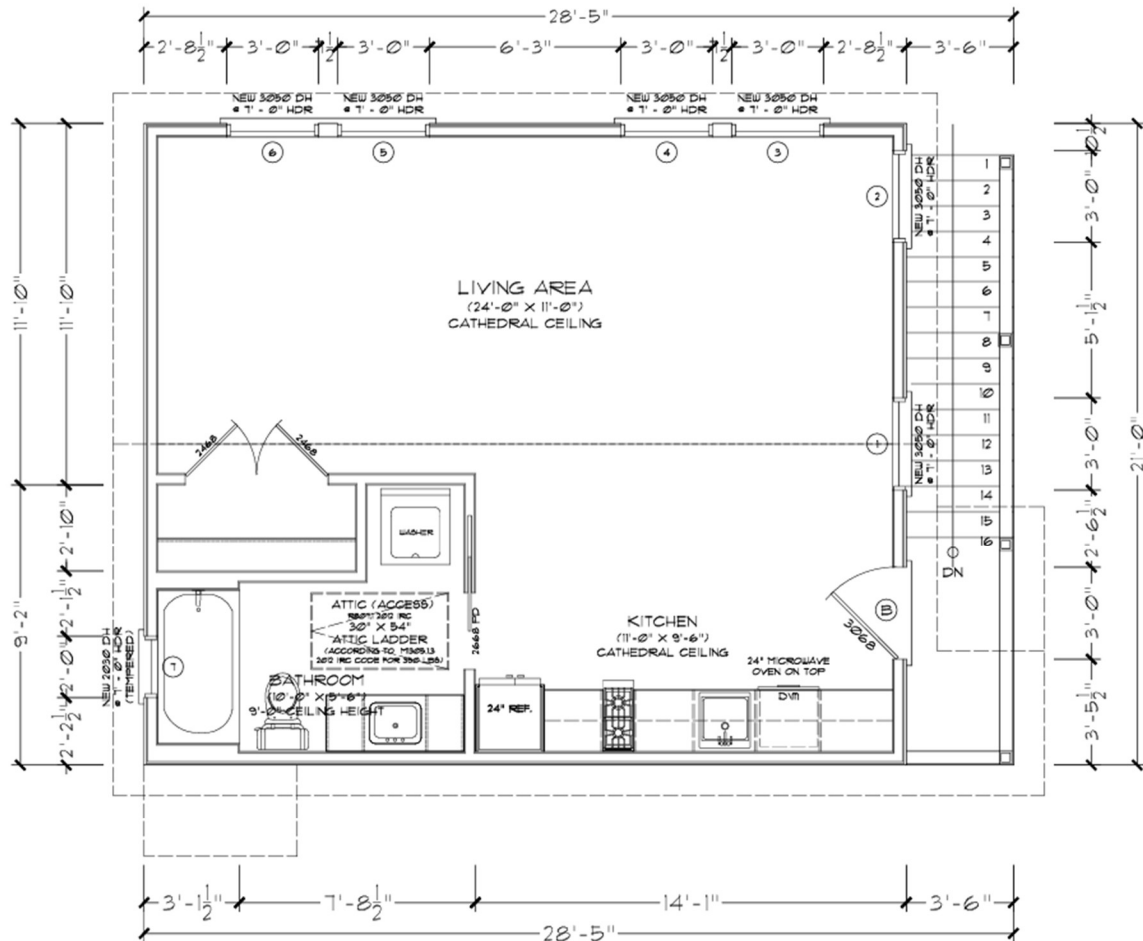
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SECOND FLOOR PLAN

PROPOSED



PROPOSED GARAGE 2ND FLOOR PLAN

ESC. 1/4" = 1' - 0"

PROPOSED TWO CAR GARAGE AREA = 525.00 sqf
PROPOSED 2ND FLOOR LIVING AREA = 525.00 sqf





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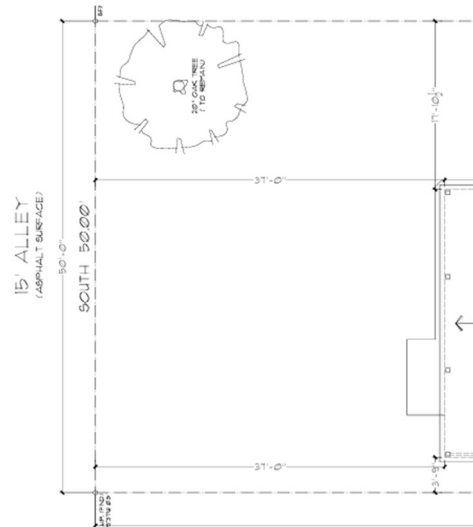
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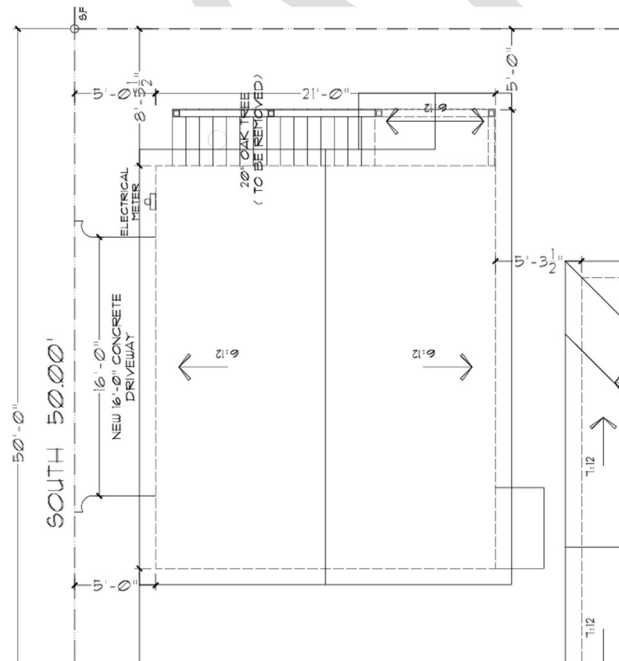
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ROOF PLAN

EXISTING



PROPOSED





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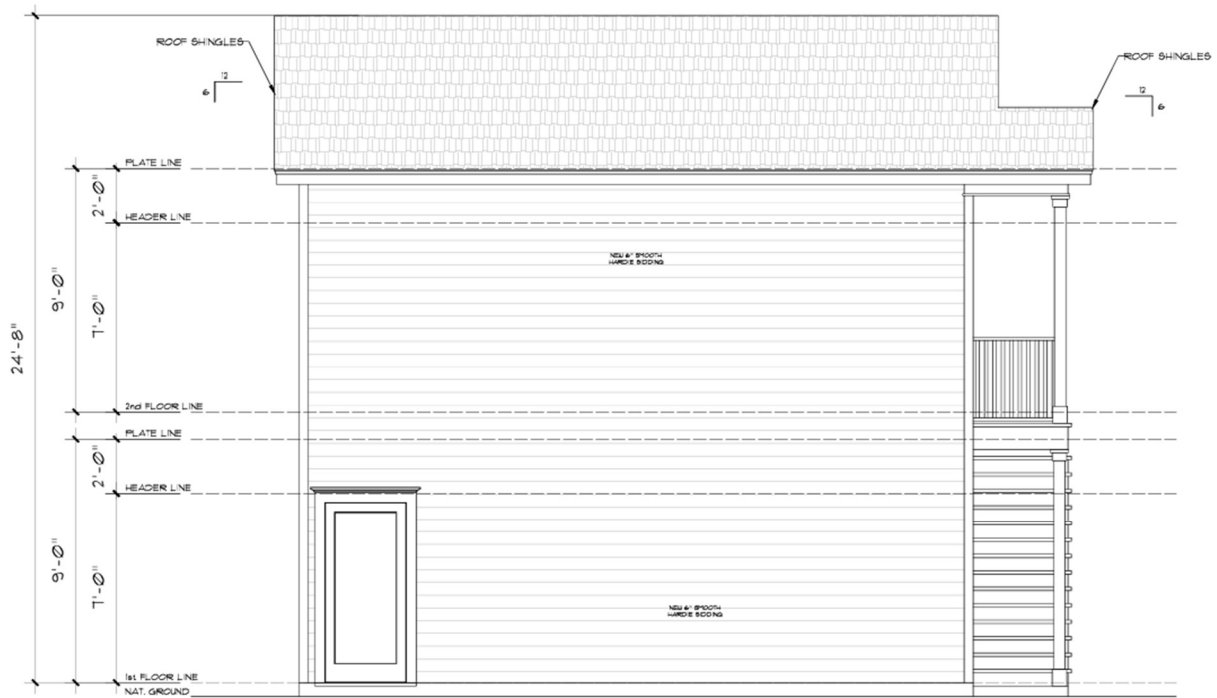
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PROPOSED GARAGE FRONT ELEVATION



PROPOSED GARAGE FRONT ELEVATION

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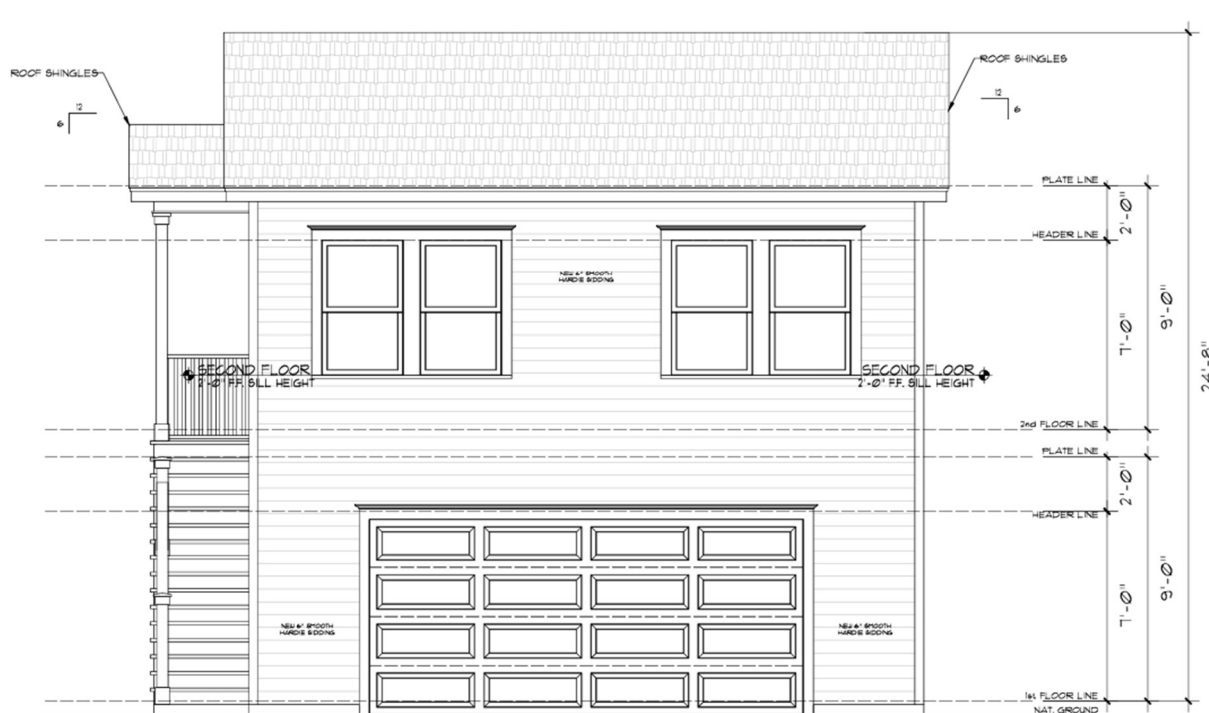
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PROPOSED GARAGE BACK ELEVATION



PROPOSED GARAGE BACK ELEVATION

ESC. 1/4" = 1' - 0"



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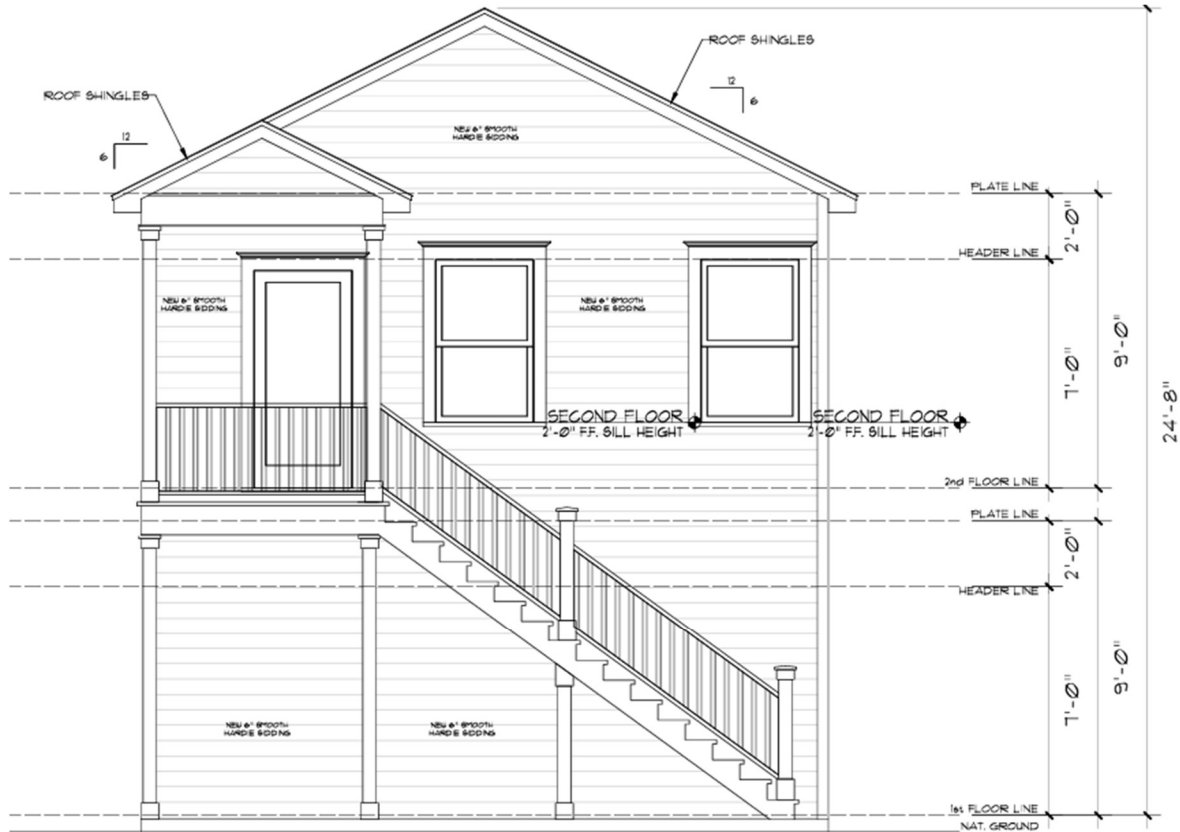
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PROPOSED GARAGE SOUTH ELEVATION



PROPOSED GARAGE SOUTH ELEVATION

ESC. 1/4" = 1' - 0"



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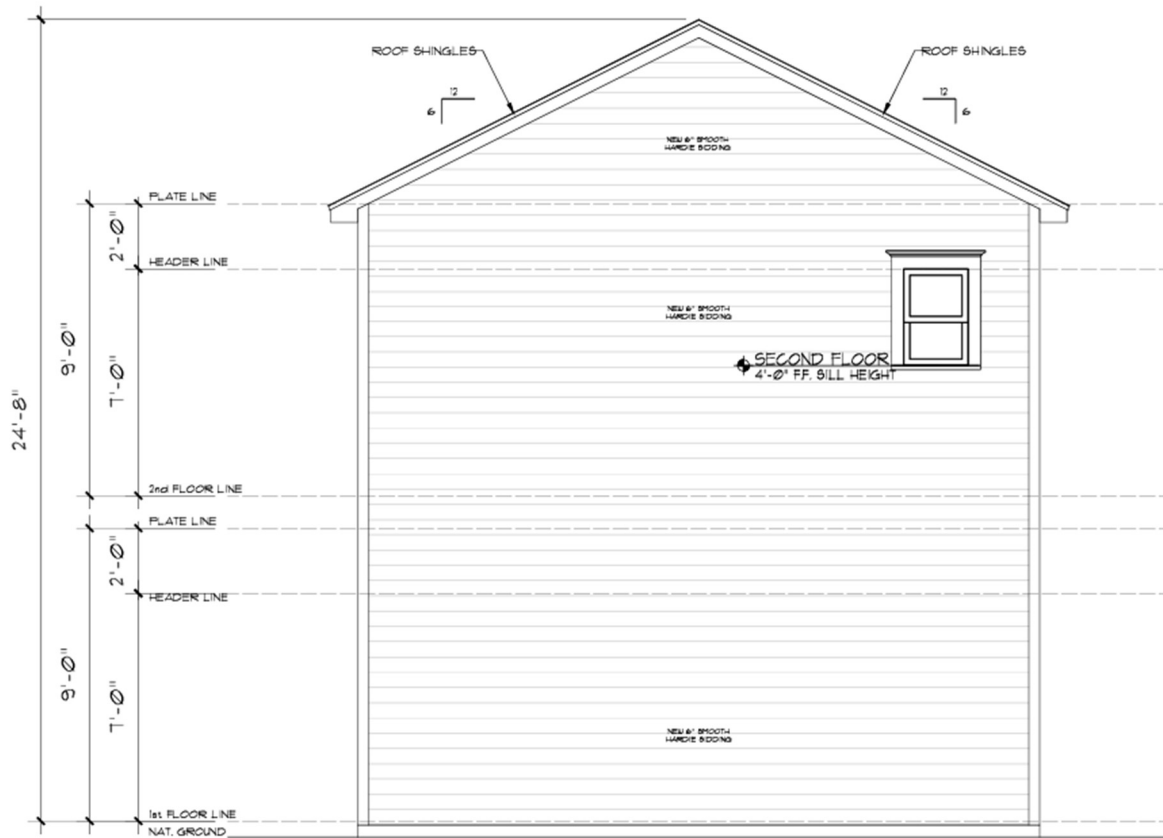
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PROPOSED GARAGE NORTH ELEVATION



PROPOSED GARAGE NORTH ELEVATION

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WINDOW & DOOR SCHEDULES

NEW DOOR SCHEDULE

MARK	TYPE	WIDTH	HEIGHT	MATERIAL	GLASS	EXISTING TO REMAIN
(A)	LH	3'-0"	6'-8"	FIBERGLASS	TEMPERED	NEW
(B)	LH	3'-0"	6'-8"	FIBERGLASS	TEMPERED	NEW

NEW WINDOW SCHEDULE

MARK	LITE PATTERN	STYLE	DIMENSIONS	MATERIAL	MOUNTING PROFILE	EXISTING TO REMAIN
2ND FLOOR						
(1)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(2)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(3)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(4)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(5)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(6)	1/1	DH	36"X60"	FIBREX	RECESSED	NEW
(7)	1/1	DH	24"X36"	FIBREX	RECESSED	NEW



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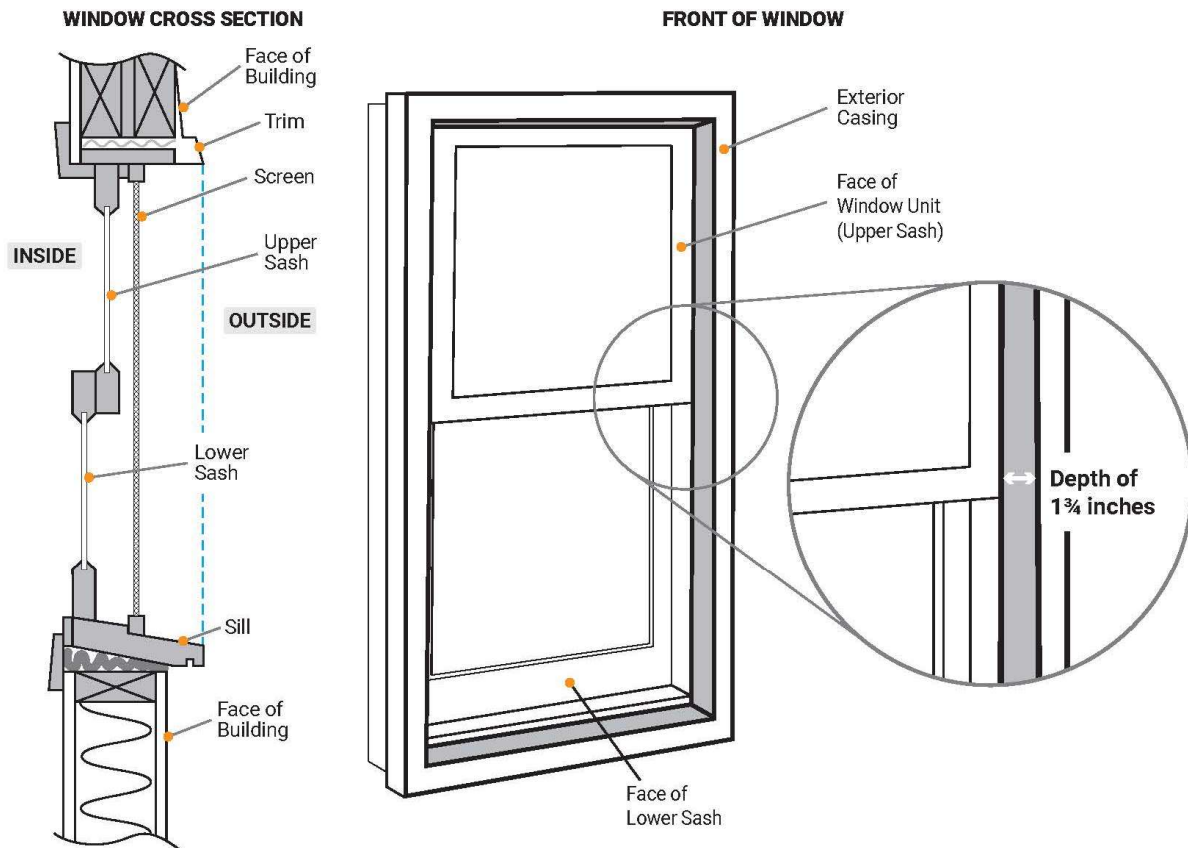
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Historic Window Standard: New Construction & Replacement



Minimum 1 3/4 inch Inset

- Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)
- Windows must be 1-over-1 (equally horizontally divided)
- 1 3/4 inch minimum inset for Fixed Window

For more information contact: Houston Office of Preservation



832-393-6556



historicpreservation@houstontx.gov



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AREA CALCULATIONS

CALCULATION OF FLOOR AREA RATIO - HEIGHTS

LOT AREA -----	6,600.00 SQ. FT.
FIRST & SECOND FLOOR AREA-----	2,904 SQ. FT.
DETTACHED GARAGE (OVER 528 SQF)---	0 SQ. FT.
DETTACHED GARAGE APT (OVER 528 SQF)---	0 SQ. FT.
TOTAL FLOOR AREA----	2,904 SQ. FT.
PERCENT OF FLOOR AREA RATIO (44% MAX)-	44.002%

CALCULATION OF LOT COVERAGE - HEIGHTS

LOT AREA -----	6,600.00 SQ. FT.
FIRST FLOOR AREA-----	1,876 SQ. FT.
DETTACHED GARAGE (OVER 528 SQF)----	0 SQ. FT.
TOTAL LOT COVERAGE AREA----	1,876 SQ. FT.
PERCENT OF LOT COVERAGE AREA (40% MAX)-	28.24%

CALCULATION IMPERVIOUS COVERAGE - COH

LOT AREA -----	6,600.00 SQ. FT.
HOUSE & GARAGE AREA-----	2,397 SQ. FT.
PORCH & DECK (STOOPS) AREA-----	285 SQ. FT.
DRIVEWAY, SIDEWALKS & STEPS-----	1,096 SQ. FT.
TOTAL IMPERVIOUS AREA----	3,778 SQ. FT.
PERCENT OF IMPERVIOUS AREA (65% MAX)-	57.24%