



CERTIFICATE OF APPROPRIATENESS

Reviewed by the Houston Archaeological and Historical Commission

Application Date: 6/25/2025

HPO File#: HP2025_0193

ITEM#: E15

Applicant: Brett Zamore, agent, Heidi Gerstacker, owner

Property: Lot 6, Block 191, 1225 Oxford Street, 191, Houston Heights East, 6,600 sq. ft. lot, Existing 1,536 sq. ft. single family residence, built circa 1920.

Significance: Contributing (includes potentially contributing), Bungalow, Houston Heights East

Proposal: Alteration/ Addition:

Existing 1-story single-family residence with proposed 1-story renovation/addition in line with existing exterior wall of house, a solid fire-rated wall screened and open porch at the rear side of the single-family residence structure.

The roof is to be reconfigured to accommodate new porches and be a standing seam metal roof.

- Re-roof whole existing roof with metal standing seam.
 - Replace one back patio door.
 - Replace existing roof shingles with standing seam metal roofing.
- All existing structures and pitches to remain as is.
- Add steel handrail along front entry porch steps.

Recommendation: Approval

HAHC Action:

Basis for Issuance:

Date Effective:



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Note: All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.



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APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

| Approval Criteria Status | Approval Criteria Description |
|--------------------------|---|
| Satisfies | (1) The proposed activity must retain and preserve the historical character of the property; |
| Satisfies | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| Satisfies | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| Satisfies | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| Satisfies | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| Satisfies | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| Satisfies | (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |



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| | |
|------------------|---|
| Satisfies | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| Satisfies | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| Satisfies | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. Staff Comments: Per Heights Design Guidelines 5-11 If the existing house is less than five feet from the property line: • A one-story addition can match the side setback of the existing house or a three-foot side setback, whichever is greater. |



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- Maximum Lot Coverage

Existing

New/Proposed

Maximum Lot Coverage Percentage

40%

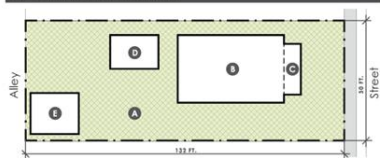
0%

Maximum Square Footage Allowable

2640 sq ft

0 sq ft

CALCULATING LOT COVERAGE



KEY

- A Lot area
- B House ground floor area
- C Detached accessory building ground floor area
- D Detached garage ground floor area

| LOT SIZE | MAXIMUM LOT COVERAGE |
|-----------|----------------------|
| <4000 | .44 (44%) |
| 4000-4999 | .44 (44%) |
| 5000-5999 | .42 (42%) |
| 6000-6999 | .40 (40%) |
| 7000-7999 | .38 (38%) |
| 8000+ | .38 (38%) |

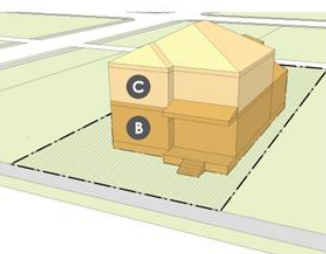
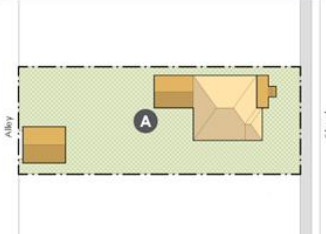


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| - Floor to Area Ratio | |
|--|-----------------------------------|
| Existing | New/Proposed |
| Maximum Floor to Area Ratio Percentage | |
| 44% | 3% |
| Maximum Square Footage Allowable | |
| 2904 sq ft | 167 sq ft |
| | Remaining Floor to Area Allowable |
| | 2,737 sq ft |

CALCULATING FLOOR AREA RATIO



| | |
|----------|----------------|
| A | Lot Area |
| B | 1st Floor Area |
| C | 2nd Floor Area |

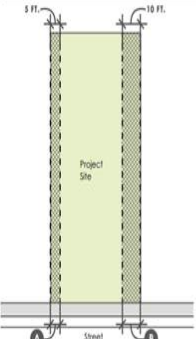
| LOT SIZE | MAXIMUM FAR |
|-----------|-------------|
| <4000 | .48 |
| 4000-4999 | .48 |
| 5000-5999 | .46 |
| 6000-6999 | .44 |
| 7000-7999 | .42 |
| 8000+ | .40 |

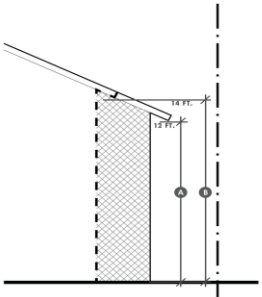
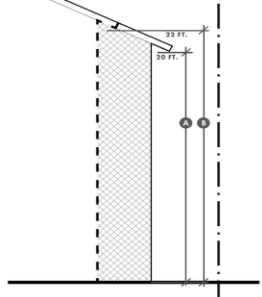


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| - Side Setbacks & - Eave Heights | |
|---|---------------------|
| Existing | New/Proposed |
| Side Setback 1 | |
| 4' 1" | 4' 1" |
| Eave Height | |
| 11' 10" | 11' 10" |
| Side Setback 2 | |
| 4' | 4' |
| Eave Height | |
| 11' 10" | 11' 1" |
| Cumulative Side Setback | |
| 8' 1" | 8' 1" |

| SIDE SETBACKS | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|--|-------------|-------------|---|-------|--|---|-------|--|---|-----------|---|---|-------|---|---|--------|---|---|--------|---|--|
|  <p style="font-size: small;">Note: This diagram shows just one example of a side setback configuration.</p> | <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>KEY</th> <th>MEASUREMENT</th> <th>APPLICATION</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">A</td> <td>3 FT.</td> <td>Minimum distance between side wall and the property line for lots less than 35 feet wide</td> </tr> <tr> <td style="text-align: center;">B</td> <td>5 FT.</td> <td>Minimum distance between the side wall and the property line</td> </tr> <tr> <td style="text-align: center;">C</td> <td>REMAINING</td> <td>Difference between minimum side setback of 5 feet and minimum cumulative side setback</td> </tr> <tr> <td style="text-align: center;">D</td> <td>6 FT.</td> <td>Minimum cumulative side setback for lots less than 35 feet wide</td> </tr> <tr> <td style="text-align: center;">E</td> <td>10 FT.</td> <td>Minimum cumulative side setback for a one-story house</td> </tr> <tr> <td style="text-align: center;">F</td> <td>15 FT.</td> <td>Minimum cumulative side setback for a two-story house</td> </tr> </tbody> </table> | KEY | MEASUREMENT | APPLICATION | A | 3 FT. | Minimum distance between side wall and the property line for lots less than 35 feet wide | B | 5 FT. | Minimum distance between the side wall and the property line | C | REMAINING | Difference between minimum side setback of 5 feet and minimum cumulative side setback | D | 6 FT. | Minimum cumulative side setback for lots less than 35 feet wide | E | 10 FT. | Minimum cumulative side setback for a one-story house | F | 15 FT. | Minimum cumulative side setback for a two-story house | |
| KEY | MEASUREMENT | APPLICATION | | | | | | | | | | | | | | | | | | | | | |
| A | 3 FT. | Minimum distance between side wall and the property line for lots less than 35 feet wide | | | | | | | | | | | | | | | | | | | | | |
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| D | 6 FT. | Minimum cumulative side setback for lots less than 35 feet wide | | | | | | | | | | | | | | | | | | | | | |
| E | 10 FT. | Minimum cumulative side setback for a one-story house | | | | | | | | | | | | | | | | | | | | | |
| F | 15 FT. | Minimum cumulative side setback for a two-story house | | | | | | | | | | | | | | | | | | | | | |

| PRIMARY BUILDING 1-STORY EAVE HEIGHT RANGE | | | PRIMARY BUILDING 2-STORY EAVE HEIGHT RANGE | | | | | | | | |
|---|--|---|--|-------------|---|--------|---|---|--------|--|--|
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| - Rear Setbacks | |
|-----------------------|--------------|
| Existing | New/Proposed |
| Rear Setback | |
| 59' 4" | 56' 6.5" |
| Addition Rear Setback | |
| 0' 0" | 0' 0" |
| Garage Rear Setback | |
| 9' 1.2" | 9' 1.2" |



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CITY OF HOUSTON | PLANNING & DEVELOPMENT DEPARTMENT | HISTORIC
PRESERVATION OFFICE



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Satisfies - Building Wall (Plate) Height

| Existing | | New/Proposed | |
|---------------------------|--|--------------|--|
| Finished Floor | | | |
| 26.25" | | 26.25" | |
| First Floor Plate Height | | | |
| 10' 3" | | 10' 3" | |
| Second Floor Plate Height | | | |
| 0' 0" | | 0' 0" | |

| KEY | MEASUREMENT | APPLICATION |
|-----|-------------|---|
| A | 36 IN. | Maximum finished floor height (as measured at the front of the structure) |
| B | 10 FT. | Maximum first floor plate height |
| C | 9 FT. | Maximum second floor plate height |

PRIMARY BUILDING WALL PLATE HEIGHT



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| Building Areas | | |
|---------------------------|-------------|--------------|
| Existing | Demolished | New/Proposed |
| First Floor | | |
| 1,536 sq ft | 0 sq ft | 167 sq ft |
| Second Floor | | |
| 0 sq ft | 0 sq ft | 0 sq ft |
| Enclosed Porch or Sunroom | | |
| 0 sq ft | 0 sq ft | 0 sq ft |
| Porch or Sunroom is on | | |
| First Floor | First Floor | First Floor |
| Detached Garage | | |
| 1 sq ft | 0 sq ft | 0 sq ft |
| Detached Garage Apartment | | |
| 480 sq ft | 0 sq ft | 0 sq ft |
| Garage Apartment on | | |
| First Floor | | |
| Attached Garage | | |
| 0 sq ft | 0 sq ft | 0 sq ft |
| Accessory Structure | | |
| 0 sq ft | 0 sq ft | 0 sq ft |
| Accessory Structure Type | | |
| | | |



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| Area Calculations | |
|---|---|
| Existing | New/Proposed |
| Attached Garage Exemption | |
| 0 | 0 |
| Detached Garage Exemption | |
| 1 | 1 |
| | Detached Garage Apartment Exemption |
| | 480 |
| Total Building Area | |
| 1704 | 2184 |
| Proposed Maximum Lot Coverage | Proposed Floor to Area Ratio |
| 0 | 167 |
| Remaining Lot Coverage Allowable | Remaining Floor Area Allowable |
| 2640 | 2737 |
| Maximum Lot Coverage Total Lot Coverage | |
| 2640 | 2904 |
| Proposed Meets Lot Coverage Requirement | Proposed Meets Floor Area Ratio Requirement |
| Yes | Yes |



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INVENTORY PHOTO



CURRENT PHOTO



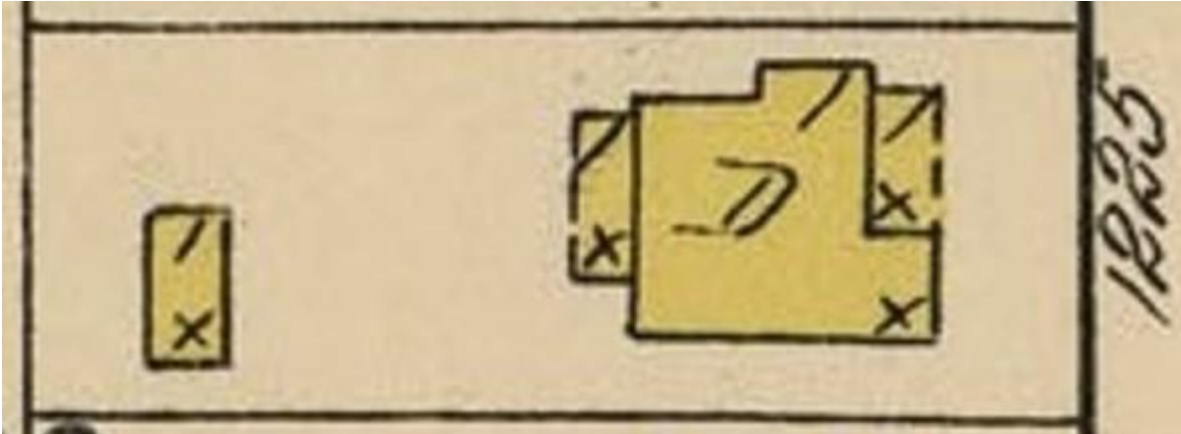


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HISTORIC MATERIALS

Sanborn Map 1919



Bureau of Land Assessment (BLA)



Existing South-West (Rear Side) Elevation



Existing South (Back) Elevation



Existing South-East (Side) Elevation



Existing East (Front) Elevation



Existing North (Side) Elevation

1.

EXISTING NON-CONTRIBUTING PORCH/DECK TO BE DEMOED
2.

EXISTING NON-CONTRIBUTING PATIO DOOR TO BE DEMOED
3.

EXISTING HARDSCAPE TO DEMOED
4.

NEW WOOD FENCE, STYLE TBD.
5.

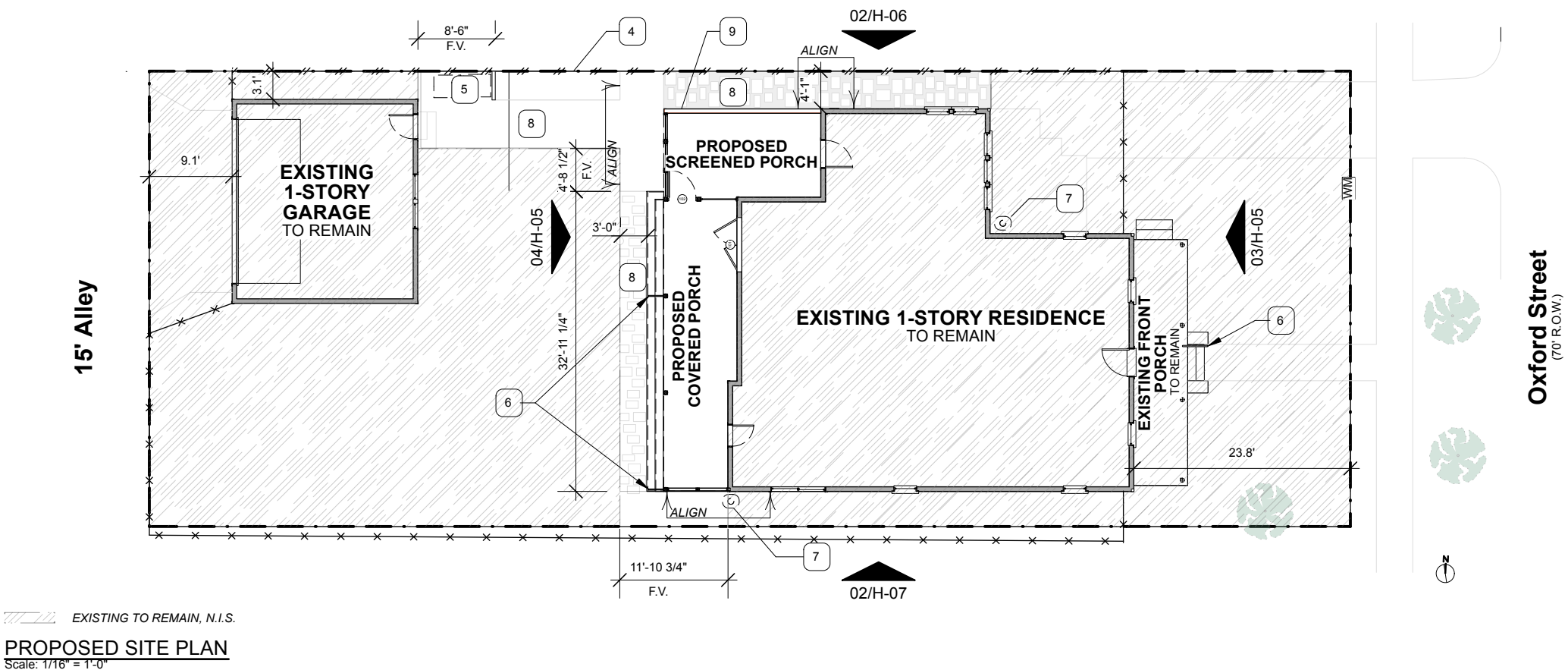
TRASH & RECYCLE BINS
6.

EXTERIOR 1-1/2" X 3/4 STEEL HANDRAIL/GUARDRAIL @ STEPS
7.

50 GAL RAINWATER COLLECTOR
8.

PROPOSED GROUNDWORK
9.

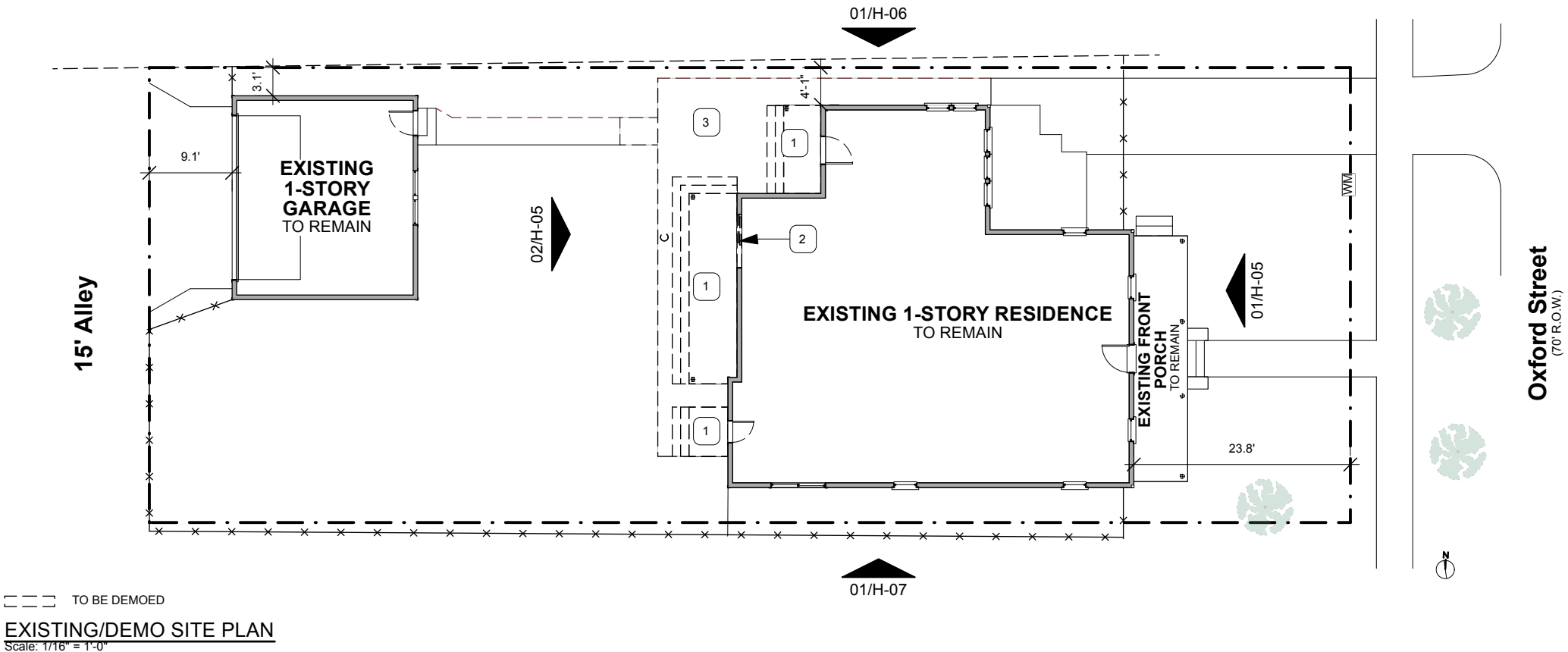
1-HOUR RATED EXTERIOR FIREWALL



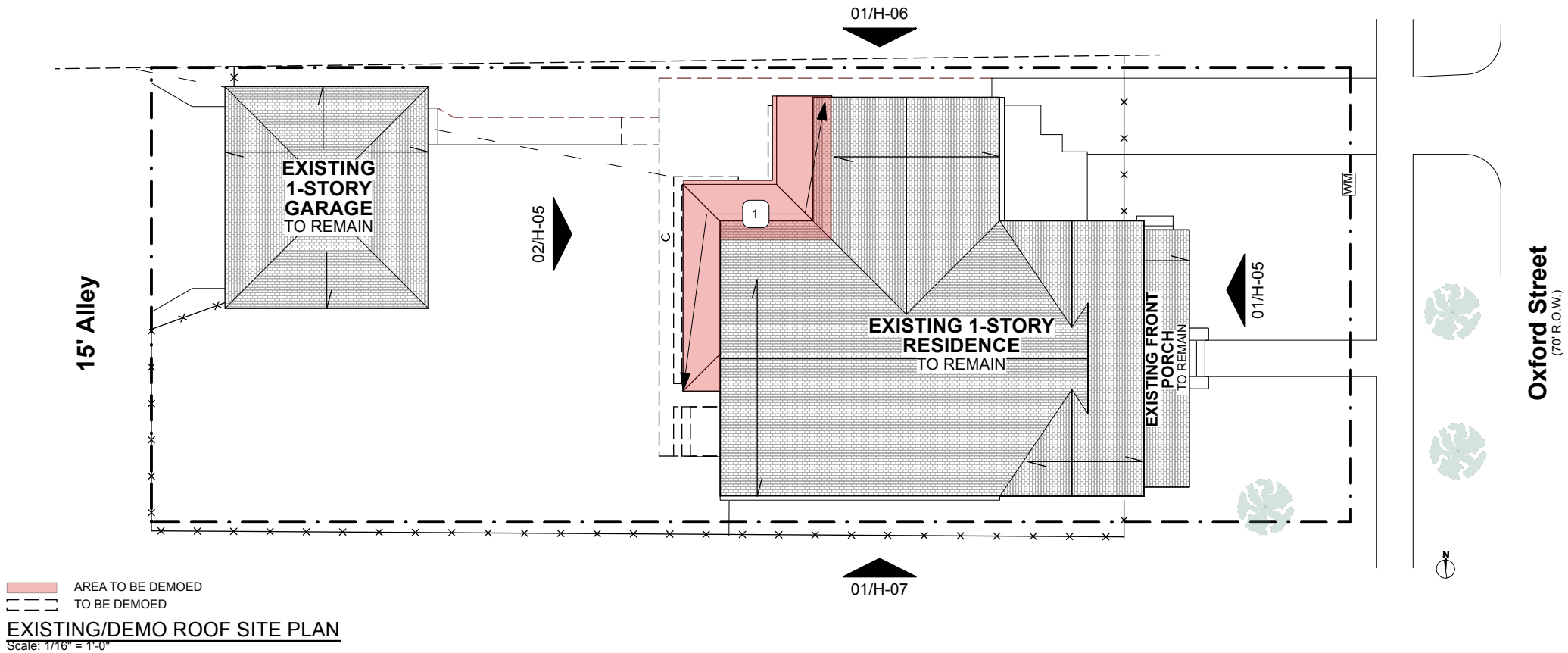
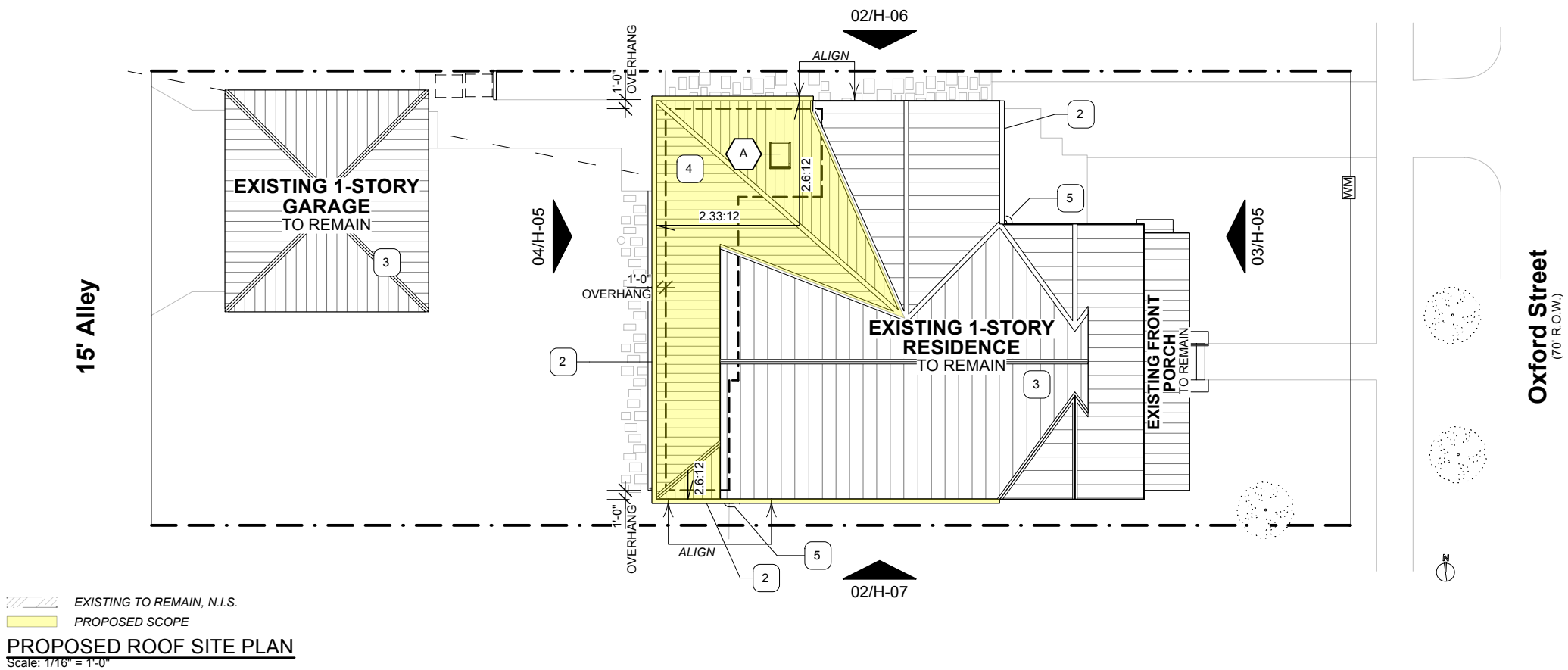
| | |
|-----------------------------|-------------|
| LOT SIZE : | 6,600 sq ft |
| MAX. FAR : | 2,904 sq ft |
| MAX. LOT COVERAGE : | 2,640 sq ft |
| DETACHED GARAGE EXEMPTION : | 528 sq ft |

| | EXISTING | PROPOSED | |
|----------------------|-------------|-------------|-----------|
| | | INCREASE | REMOVAL |
| CONDITIONED LIVING : | 1,536 sq ft | 167 sq ft | 0 sq ft |
| OPEN PORCH: | 288 sq ft | 258 sq ft | 120 sq ft |
| DETACHED GARAGE : | 480 sq ft | 0 sq ft | 0 sq ft |
| TOTAL FAR: | 1,536 sq ft | 1,703 sq ft | |
| LOT COVERAGE : | 1,536 sq ft | 1,703 sq ft | |

| Lot Size Maximum FAR | | |
|--|-------------|------|
| 6000~6999 | | 0.44 |
| 6600 | 2,904 sq ft | |
| Calculation per Section 5: Measurable Standards | | |
| All attic space and open porches are not included in FAR | | |
| Lot Size Max. Lot Coverage | | |
| 6000~6999 | | 0.4 |
| 6600 | 2,640 sq ft | |
| Detached garage, open porch, roof overhangs are excluded | | |



- 1. EXISTING NON-CONTRIBUTING ROOF TO BE DEMOED
- 2. 6 1/2" HALF-ROUND MTL GUTTER W/ 4" Ø ROUND DOWNSPOUT, TO MATCH METAL ROOFING.
- 3. REPLACE ALL EXISTING SHINGLE ROOFING TO STANDING SEAM METAL ROOF, SLOPE TO MATCH EXISTING
- 4. STANDING SEAM METAL ROOFING
- 5. 50 GAL RAINWATER COLLECTOR



1.

EXISTING DOOR TO REMAIN
2.

TRIM TO MATCH EXISTING
3.

P.T. CUSTOM FIXED LOUVER, PTD.
4.

P.T. COLUMN RE: STRUCTURAL, WRAP W/ 1X CEMENTITIOUS BD, PTD.
5.

1-HOUR RATED EXTERIOR FIREWALL
6.

CUSTOM HIGH-VISIBILITY FIBERGLASS SCREEN PANEL W/ 1X2 ALUMINUM SCREEN FRAME, FRAME COLOR WHITE
7.

PROPOSED NEW HARDSCAPE
8.

SIDING TO MATCH EXITING, SIDING O/ TAMLYN DRAINABLE WRAP, TYP.
9.

TYP. X GYP. SHEATHING
10.

TYP. X GYP. BD.
11.

1X6 DECKING W/ HIDDEN CLIP & SCREW (PC) O/ BITUMEN TAPE O/ DECK FRAMING @ STRINGER, RE: FIN. SCHEDULE
12.

EXTERIOR 1-1/2" X 5/8" FLAT BAR GUARDRAIL @ DECK TO WITHSTAND 200 LBS./SF LIVE LOADS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE HANDRAIL PER CODE
13.

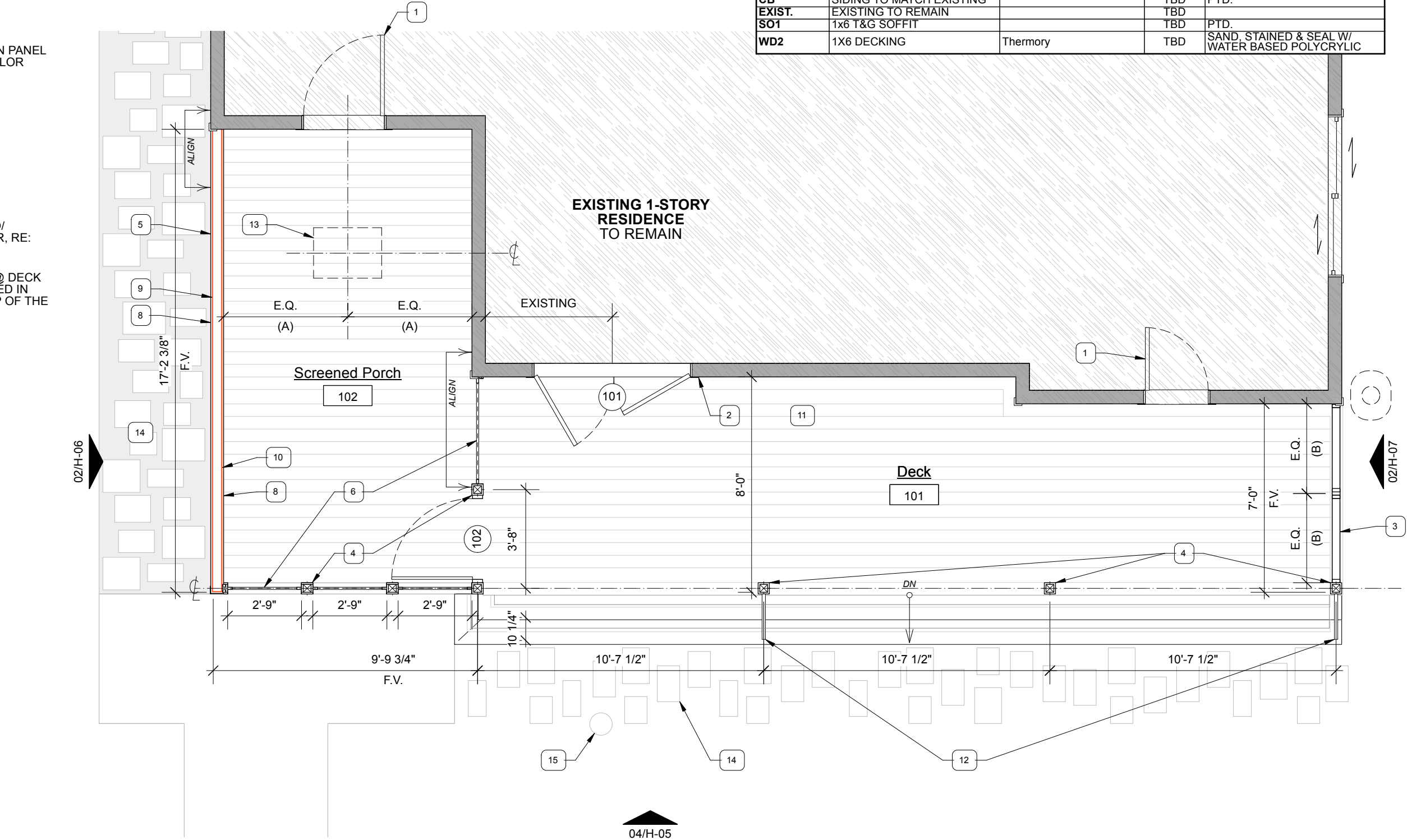
SKYLIGHT ABOVE
14.

PROPOSED PERMEABLE PAVEMENT.
15.

PROPOSED NEW CLEAN-OUT LOCATION. F.V.

| FINISH SCHEDULE | | | | | | | | |
|-----------------|----------------|-------|--------|--------|--------|--------|--------|---------|
| # | ROOM NAME | FLOOR | WALL N | WALL E | WALL S | WALL W | SOFFIT | REMARKS |
| 101 | Deck | WD2 | | EXIST. | | | SO1 | |
| 102 | Screened Porch | WD2 | CB | EXIST. | | | SO1 | |

| ROOM FINISH LEGEND - BY KEY | | | | |
|-----------------------------|--------------------------|--------------|-------|--|
| KEY | DESCRIPTION | MANUF./STYLE | COLOR | FINISH TYPE |
| CB | SIDING TO MATCH EXISTING | | TBD | PTD. |
| EXIST. | EXISTING TO REMAIN | | TBD | |
| SO1 | 1x6 T&G SOFFIT | | TBD | PTD. |
| WD2 | 1X6 DECKING | Thermory | TBD | SAND, STAINED & SEAL W/ WATER BASED POLYCRYLIC |



EXISTING TO REMAIN, N.I.S.

PROPOSED ENLARGED PLAN

Scale: 1/4" = 1'-0"

1.

EXISTING NON-CONTRIBUTING PORCH/DECK TO BE DEMOED
2.

EXISTING NON-CONTRIBUTING ROOF TO BE DEMOED
3.

EXISTING NON-CONTRIBUTING PATIO DOOR TO BE DEMOED
4.

OVERHEAD WIRE TO CHANGE TO UNDERGROUND
5.

RELOCATE EXISTING SERCURITY LIGHT, RE:RCP/MEP
6.

STANDING SEAM METAL ROOFING
7.

6 1/2" HALF-ROUND MTL GUTTER W/ 4" Ø ROUND DOWNSPOUT, TO MATCH METAL ROOFING.
8.

SKYLIGHT
9.

1X6 DECKING
10.

EXTERIOR 1-1/2" X 3/4 STEEL HANDRAIL/GUARDRAIL @ STEPS

11.

TRIM TO MATCH EXISTING
12.

CEMENT BOARD SIDING TO MATCH EXISTING
13.

50 GAL RAINWATER COLLECTOR
14.

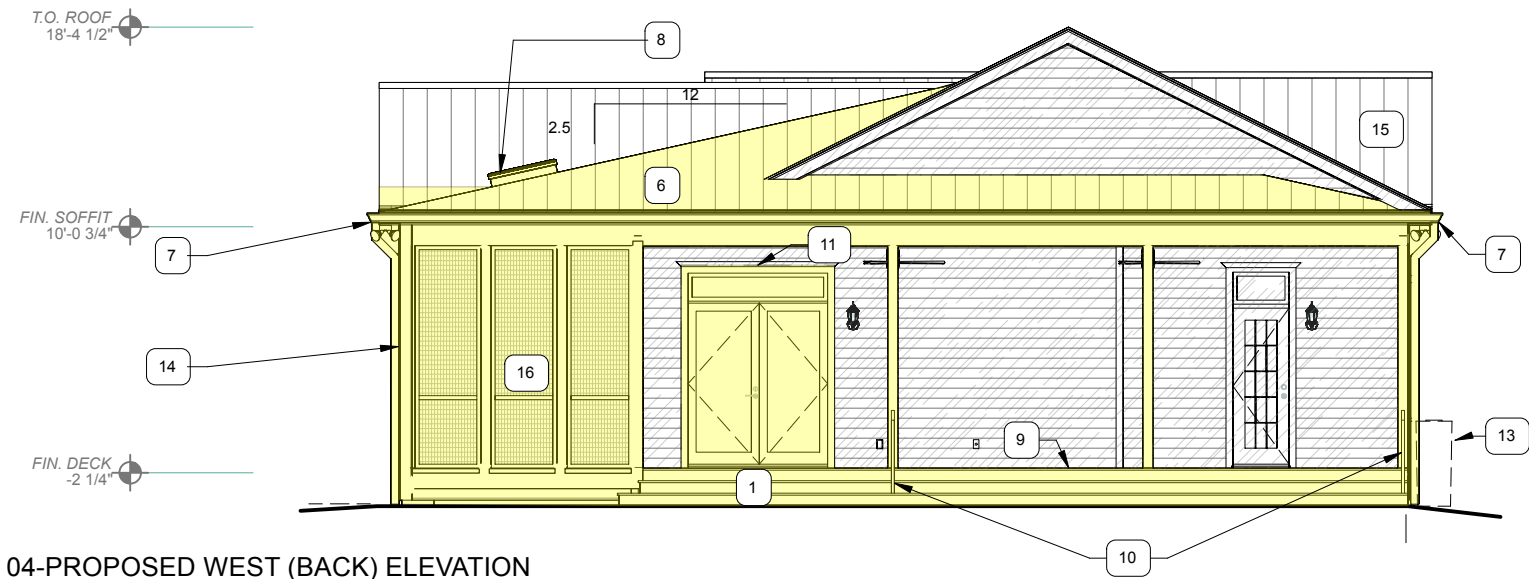
1-HOUR RATED EXTERIOR FIREWALL
15.

REPLACE ALL EXISTING SHINGLE ROOFING TO STANDING SEAM METAL ROOF, SLOPE TO MATCH EXISTING
16.

1X2 ALUMINUM SCREEN FRAME W/ SCREEN
17.

NEW WOOD FENCE, STYLE TBD.
18.

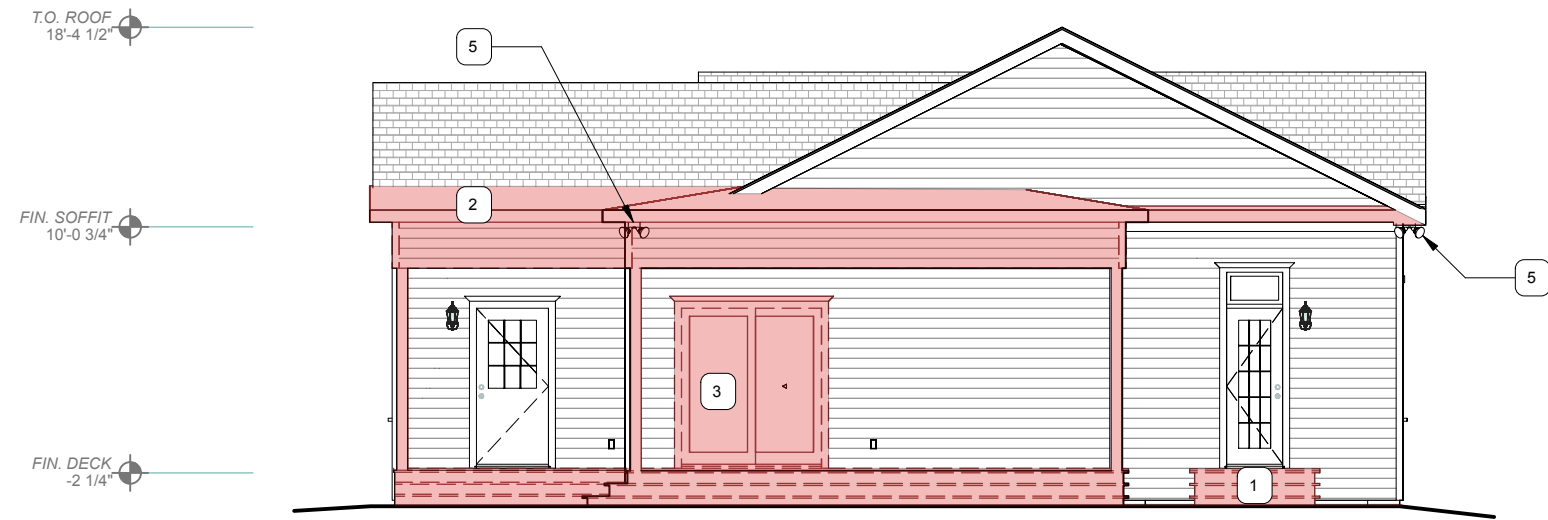
WOOD LOUVER, PTD.



04-PROPOSED WEST (BACK) ELEVATION
Scale: 1/8" = 1'-0"

EXISTING TO REMAIN, N.I.S.
PROPOSED SCOPE

AREA TO BE DEMOED
TO BE DEMOED



02-EXISTING/DEMO WEST (BACK) ELEVATION
Scale: 1/8" = 1'-0"



03-PROPOSED EAST (FRONT) ELEVATION
Scale: 1/8" = 1'-0"

EXISTING FRONT ELEVATION
TO REMAIN.
N.I.S

FIN. PORCH FL. -3"



01-EXISTING EAST (FRONT) ELEVATION
Scale: 1/8" = 1'-0"

EXISTING FRONT ELEVATION
TO REMAIN.
N.I.S

FIN. PORCH FL. -3"

[#10] PHOTO OF
PROPOSED STEEL HANDRAIL
ALONG STEPS



1. EXISTING NON-CONTRIBUTING PORCH/DECK TO BE DEMOED

2. EXISTING NON-CONTRIBUTING ROOF TO BE DEMOED

3. EXISTING NON-CONTRIBUTING PATIO DOOR TO BE DEMOED

4. OVERHEAD WIRE TO CHANGE TO UNDERGROUND

5. RELOCATE EXISTING SERCURITY LIGHT, RE:RCP/MEP
6. STANDING SEAM METAL ROOFING

7. 6 1/2" HALF-ROUND MTL GUTTER W/ 4" Ø ROUND DOWNSPOUT, TO MATCH METAL ROOFING.

8. SKYLIGHT

9. 1X6 DECKING

10. EXTERIOR 1-1/2" X 3/4 STEEL HANDRAIL/GUARDRAIL @ STEPS
11. TRIM TO MATCH EXISTING

12. CEMENT BOARD SIDING TO MATCH EXISTING

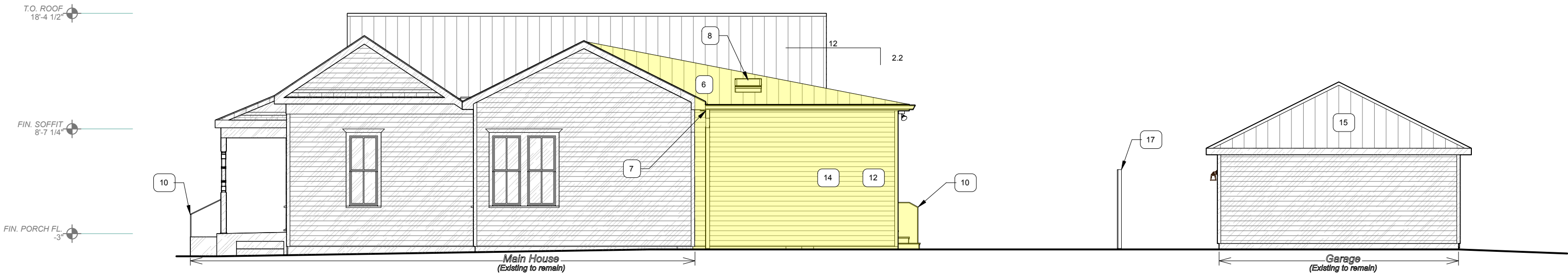
13. 50 GAL RAINWATER COLLECTOR

14. 1-HOUR RATED EXTERIOR FIREWALL

15. REPLACE ALL EXISTING SHINGLE ROOFING TO STANDING SEAM METAL ROOF, SLOPE TO MATCH EXISTING
16. 1X2 ALUMINUM SCREEN FRAME W/ SCREEN

17. NEW WOOD FENCE, STYLE TBD.

18. WOOD LOUVER, PTD.



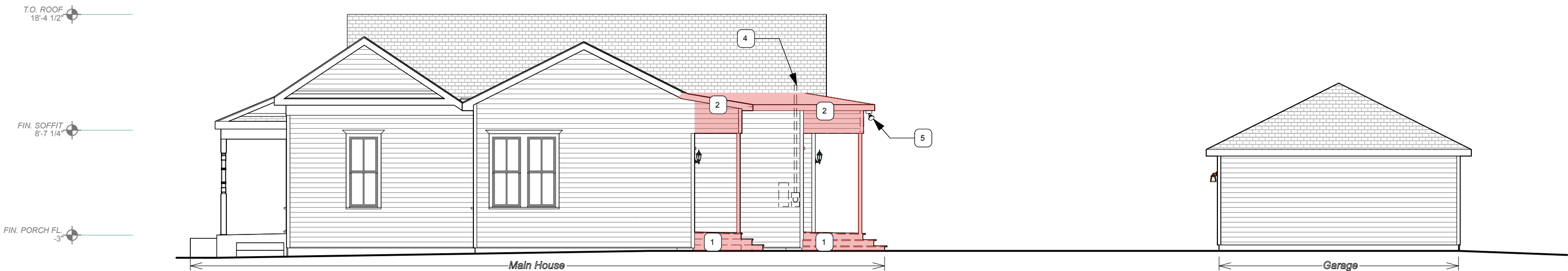
02-PROPOSED NORTH (SIDE) ELEVATION
Scale: 1/8" = 1'-0"

EXISTING TO REMAIN, N.I.S.

PROPOSED SCOPE

AREA TO BE DEMOED

TO BE DEMOED



01-EXISTING/DEMO NORTH (SIDE) ELEVATION
Scale: 1/8" = 1'-0"

1. EXISTING NON-CONTRIBUTING PORCH/DECK TO BE DEMOED

2. EXISTING NON-CONTRIBUTING ROOF TO BE DEMOED

3. EXISTING NON-CONTRIBUTING PATIO DOOR TO BE DEMOED

4. OVERHEAD WIRE TO CHANGE TO UNDERGROUND

5. RELOCATE EXISTING SERCURITY LIGHT, RE:RCP/MEP
6. STANDING SEAM METAL ROOFING

7. 6 1/2" HALF-ROUND MTL GUTTER W/ 4" Ø ROUND DOWNSPOUT, TO MATCH METAL ROOFING.

8. SKYLIGHT

9. 1X6 DECKING

10. EXTERIOR 1-1/2" X 3/4 STEEL HANDRAIL/GUARDRAIL @ STEPS
11. TRIM TO MATCH EXISTING

12. CEMENT BOARD SIDING TO MATCH EXISTING

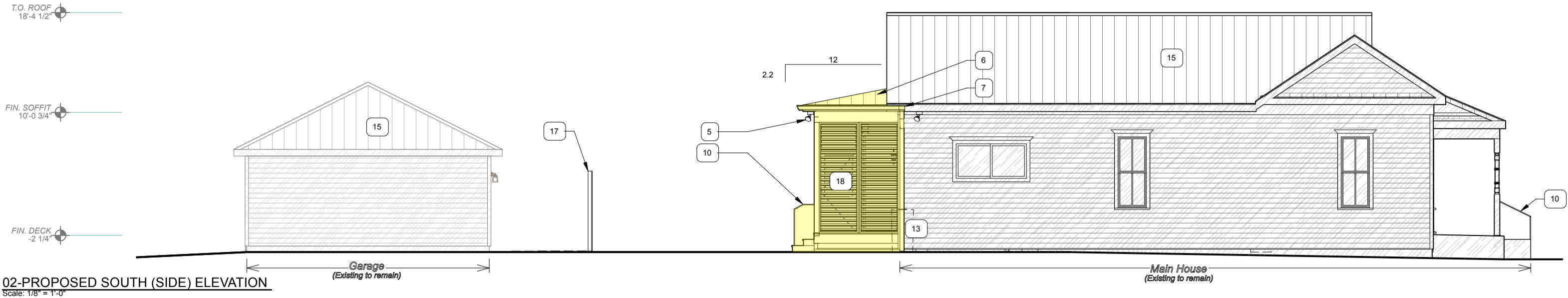
13. 50 GAL RAINWATER COLLECTOR

14. 1-HOUR RATED EXTERIOR FIREWALL

15. REPLACE ALL EXISTING SHINGLE ROOFING TO STANDING SEAM METAL ROOF, SLOPE TO MATCH EXISTING
16. 1X2 ALUMINUM SCREEN FRAME W/ SCREEN

17. NEW WOOD FENCE, STYLE TBD.

18. WOOD LOUVER, PTD.

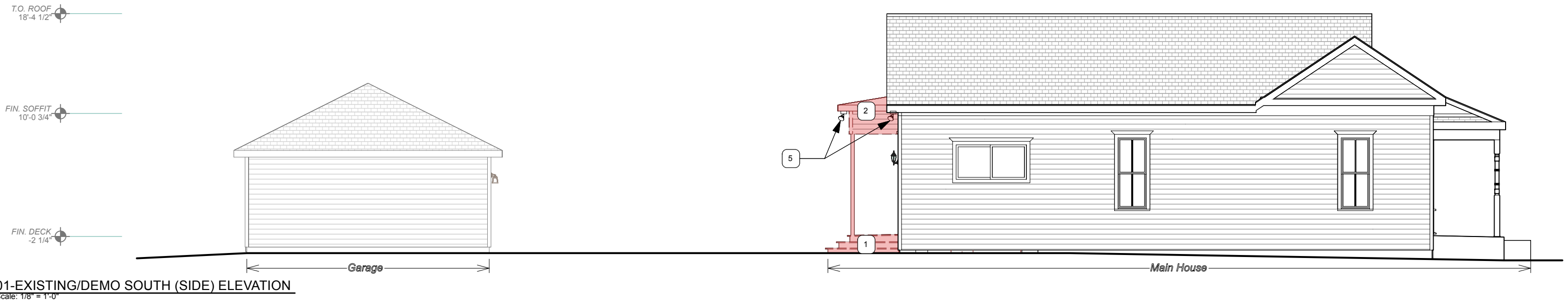


EXISTING TO REMAIN, N.I.S.

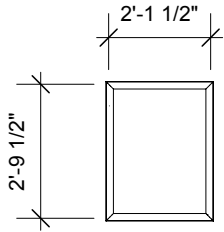
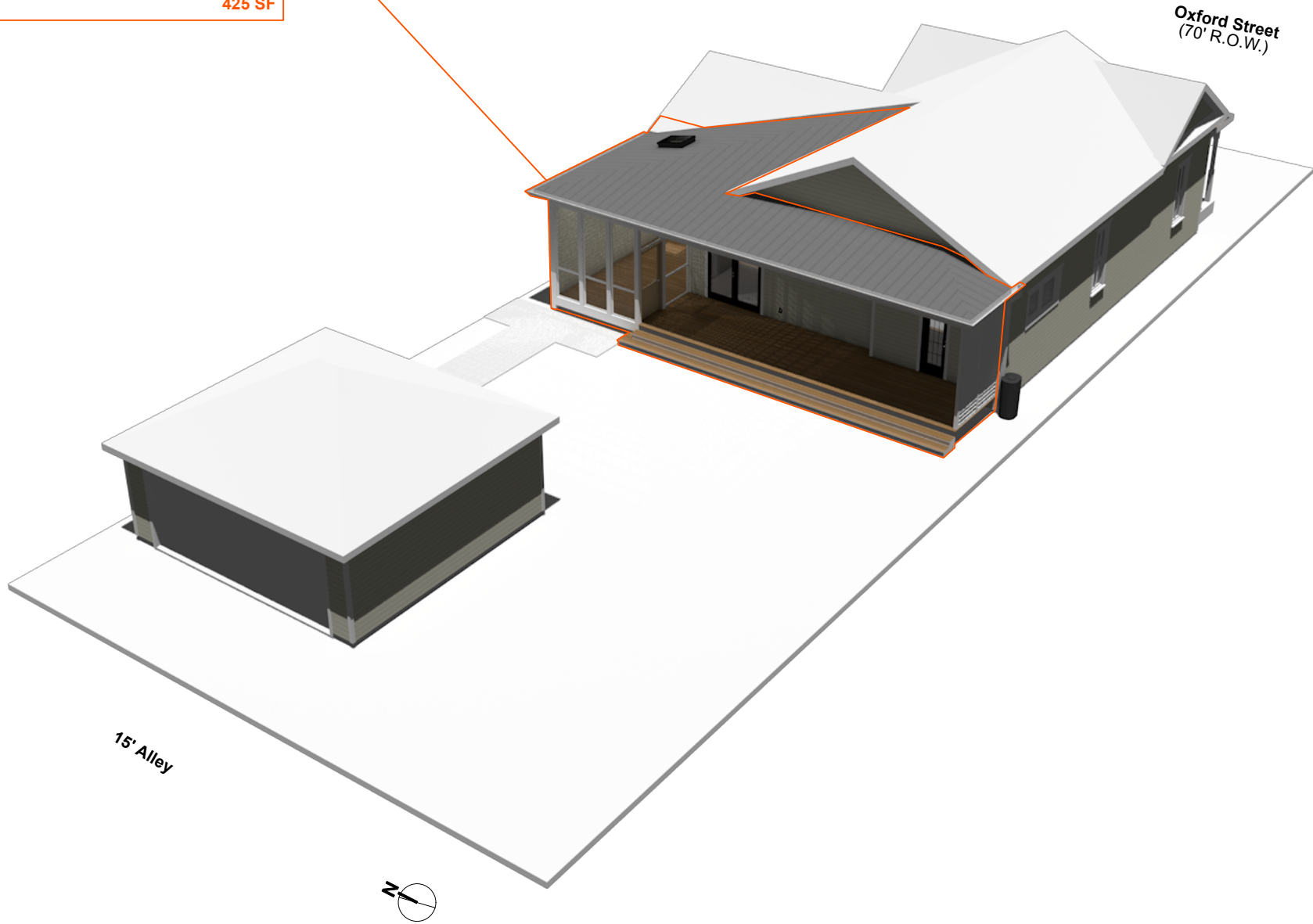
PROPOSED SCOPE

AREA TO BE DEMOED

TO BE DEMOED



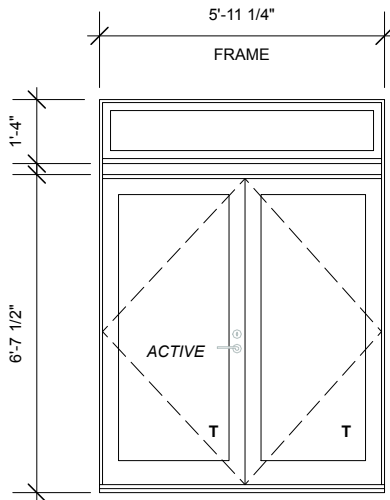
PROPOSED OPEN AND
SCREENED-IN BACK PORCHES:
425 SF



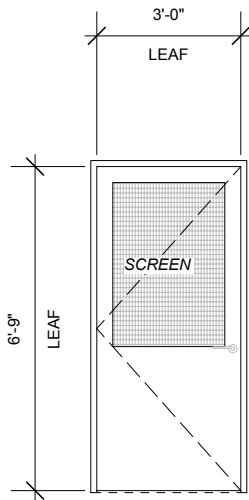
A Skylight
1 UNIT

SKYLIGHT SCHEDULE

| ID | WIDTH | HEIGHT | MANUF. | MODEL# | REMARKS |
|----|----------|----------|--------|-----------|---|
| A | 2'1 1/2" | 2'9 1/2" | VELUX | FCM #2230 | CURB-MOUNTED SKYLIGHT, INSTALL PER MANUF. SPEC. |



1 EXT. PATIO Double Bi-part- OutSwing
1 UNIT



2 EXT. SCREENED Left Hinge - InSwing
1 UNIT

DOOR SCHEDULE

| DOOR # | LEAF | | | | | | MANUF. | REMARKS |
|--------|------|-------------|------------------|-----------------------------|----------------------|--------|--------------------------|---|
| | TYPE | MATRL. | FIN. | WIDTH | HEIGHT | THICK | | |
| 101 | 1 | WOOD/GLASS | PTD. | (FRAME SIZE) 5'11 1/4" | 6'-7 1/2" + 1'-4" | 1 3/4" | JELD-WN | #PRWOSW6068 TEMPERED GLASS W/ SCREEN & TRANSOM #PRWOSTW6014 |
| 102 | 2 | WOOD/SCREEN | PROTECT COATS | 3'0" | 6'9" | 1 1/4" | REJUVENATION HARDWARE | |



BRETT ZAMORE DESIGN

1501 LAIRD STREET, HOUSTON, TEXAS 77008
P.713.623.1926 OFFICE@BRETTZAMOREDESIGN.COM

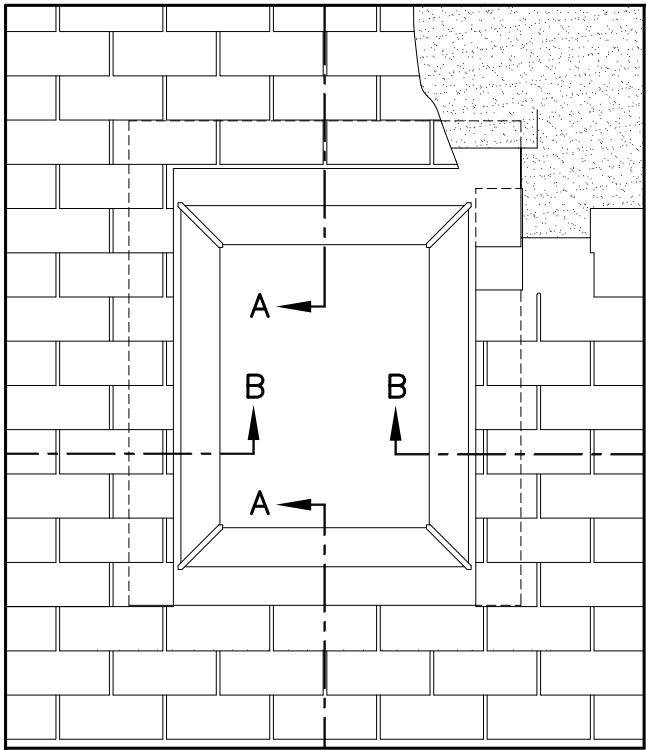
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GERSTACKER RESIDENCE
PATIO RENOVATION/ADDITION

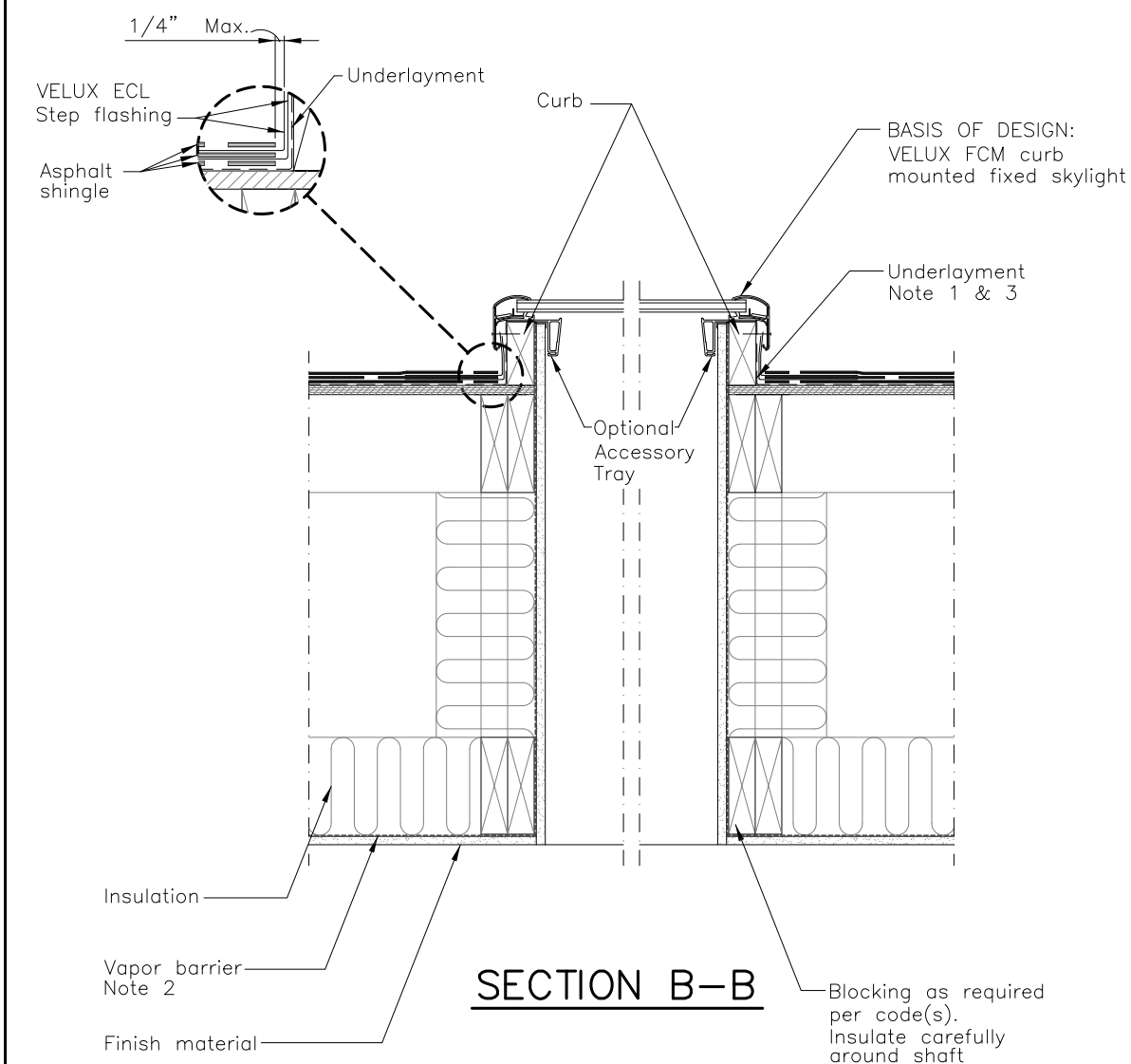
1225 OXFORD STREET, HOUSTON, TEXAS 77008

H-08
Window & Door Schedules

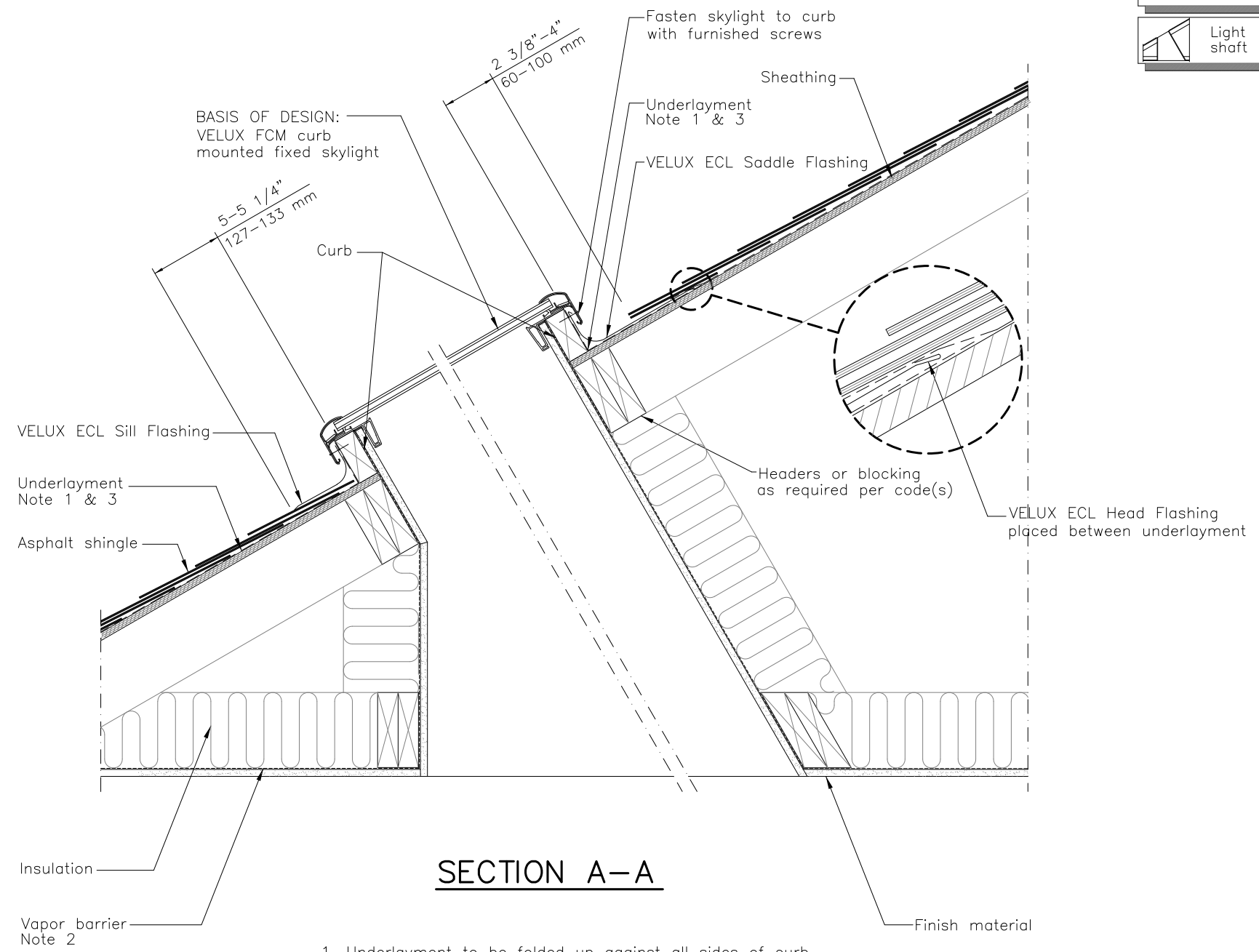
DATE: 6/24/25
CHECKED BY: BEZ
DRAWN BY: TYC



ELEVATION

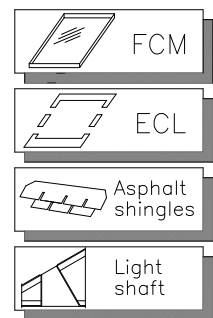


SECTION B-B



SECTION A-A

1. Underlayment to be folded up against all sides of curb.
2. Vapor barrier should be used to avoid moisture.
3. Wrap curb in adhesive underlayment provided with VELUX flashing.
VELUX recommends use of VELUX type ZOZ 216 adhesive underlayment
to wrap curb when not using VELUX flashings.



VELUX
1418 Evans Pond Road
Greenwood, SC 29649
1-800-88-VELUX
www.VELUXUSA.com

Sky-Product Management

FCM-Residential/Commercial
Roof Section (Light Shaft
and Asphalt Shingles)

| | Name | Date |
|-------------|-------|--------|
| Drawn by | JDH | Mar 10 |
| Checked by | WQ,CJ | Aug 22 |
| Drawing No. | | |

FCM-01-0310

This drawing is an instrument of service and is provided for informational use only.

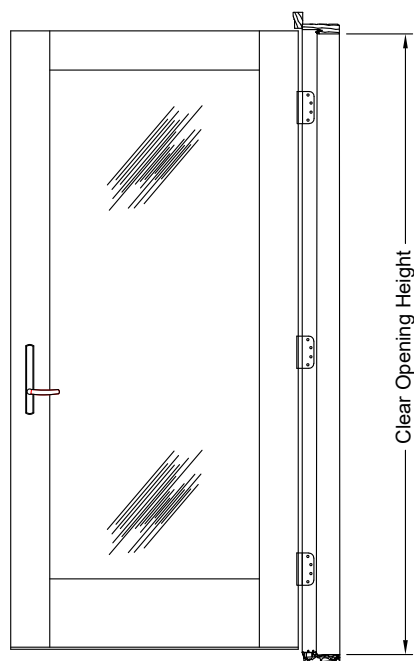


SITELINE© WOOD OUTSWING PATIO DOOR

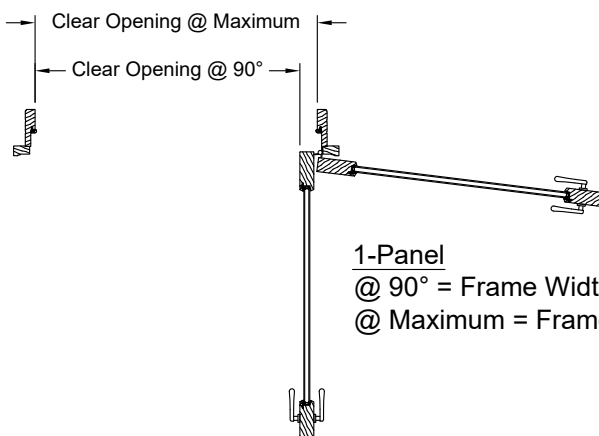
Architectural Design Manual
January 2025



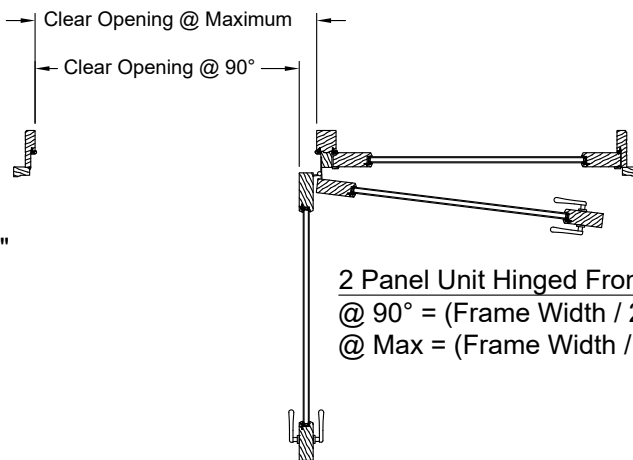
CLEAR OPENING LAYOUT



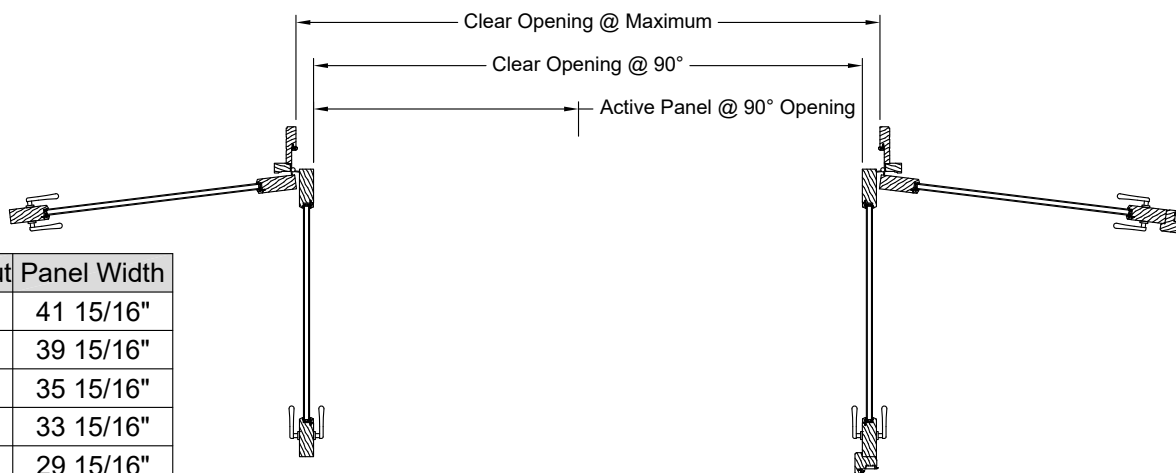
Vertical Clear Opening
Standard Sill = Frame Height - 2 19/32"
ADA Sill = Frame Height - 1 23/32"



1-Panel
@ 90° = Frame Width - 4 17/32"
@ Maximum = Frame Width - 2 7/16"



2 Panel Unit Hinged From Fixed Mullion
@ 90° = (Frame Width / 2) - 4 17/32"
@ Max = (Frame Width / 2) - 2 7/16"



| Panel Callout | Panel Width |
|---------------|-------------|
| 3-8 | 41 15/16" |
| 3-6 | 39 15/16" |
| 3-2 | 35 15/16" |
| 3-0 | 33 15/16" |
| 2-8 | 29 15/16" |
| 2-6 | 27 15/16" |
| 2-0 | 21 15/16" |
| 1-6 | 16 15/16" |
| 1-4 | 14 15/16" |
| 1-2 | 12 15/16" |

French Doors Hinged Off Jamb
@ 90° = Frame Width - 6-5/8"
@ Max = Frame Width - 2 9/16"
Active Panel @ 90° Opening = (Frame Width / 2) - 4 27/32"

CERTIFICATE OF APPROPRIATENESS

WINDOW WORKSHEET



PLANNING &
DEVELOPMENT
DEPARTMENT

| EXISTING WINDOW SCHEDULE | | | | | | | |
|--------------------------|----------|--------------|-------|------------|----------------|----------------------|--------------------|
| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Original/Replacement | Existing to Remain |
| Ex. A1 | Wood | 1/1 | DH | 32 x 66 | Recessed | Original | No |
| | | | | | | | |
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| DAMAGE TO EXISTING WINDOWS | |
|----------------------------|---|
| Window | Describe Damage |
| Ex. A1 | Glass is broke, window is inoperable, rail is rotten, and frame is broken |
| | |
| | |
| | |
| | |
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| | |

| PROPOSED WINDOW SCHEDULE | | | | | | | |
|--------------------------|----------|--------------|-------|------------|----------------|--------------|-------|
| Window | Material | Lite Pattern | Style | Dimensions | Recessed/Inset | Brand/Vendor | Other |
| Ex. A1 | Wood | 1/1 | DH | 32 x 66 | Recessed | Plygem | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
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| | | | | | | | |
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| | | | | | | | |

- Must include photos of all windows with labels indicated on this sheet
 - Must include manufacture's specifications and details for all proposed windows
- *** Use additional sheets as necessary