

CERTIFICATE OF APPROPRIATENESS**Application Date:** September 16, 2024**Applicant:** Amanda Coleman, agent, SWVP JW Johnson LLC, owner**Property:** Lot 1, Block 1, JW Marriott Reserve, City of Houston, Harris County, Texas (*formerly Lot 3, Tracks 11 and 12, Block 92, South Side Buffalo Bayou (SSBB)*).^{*} The lot size was 6,416 square feet and has been replatted with 806 Main Street (S.F. Carter- Second National Bank Building, Landmark). The new total lot size is 19,732 square feet (including former Lots 4, 5, Tract 11A, lock 92 SSBB of the S.F. Carter Building). The proposed nomination is for a 63,960 square foot, ten story commercial mid-century high rise.**Significance:** Battlestein's is a ten-story high-rise building completed in its current form in 1950 and was originally addressed as 812 Main Street. It functioned as a high-end department store until the 1980s. The architecture of the building, amidst a transitional period in Houston architecture, represents a melding of natural and man-made materials such as limestone and aluminum that are reflective of Houston's Mid-century Modern period post WWII.**Proposal:** Alteration – Window, storefront replacement and addition on the roof.

- **FIRST FLOOR/STREET LEVEL ALTERATIONS:**
 - NEW STOREFRONT GLAZING (TO MATCH FINISHING OF REPLACEMENT WINDOWS AT UPPER LEVELS)
 - NEW STOREFRONT ENTRY DOORS (TO MATCH FINISHING OF REPLACEMENT WINDOWS AT UPPER LEVELS)
 - NEW DOOR FOR FIRE STAIR "B" EXIT (PAINTED METAL)
 - NEW CANOPY TO REPLICATE HISTORIC CANOPY,
 - SIMILAR IN SIZE AND MOUNTING HEIGHT AS THE ORIGINAL.
 - DEPTH TO MATCH HISTORIC
 - MATERIALITY AT EDGE: REPLICATE LOOK OF: ORIGINAL FLUTED ALUMINUM
 - EXISTING FLAG POLES AND FINEALS TO BE RETAINED.
 - NEW LIMESTONE PANELS TO MATCH UPPER LEVELS
- **2ND AND UPPER FLOOR ALTERATIONS:**
 - NEW WINDOWS TO BE INSTALLED IN THE EXISTING OPENING. EXISTING FINISHES AROUND TO BE PRESERVED AND REPAIRED AS NEEDED.
 - PREFERRED FINISH: CLEAR ANODIZED No. 14/17 (SEE COLOR CARD)
 - GLASS: SEE SEPARATE SPEC SHEET
 - CLEAR GLASS PROPOSED FOR ALL, EXCEPT FOR REAR PANEL OF WINDOWS IN FRONT OF INTERIOR COLUMNS ON THE THIRD FLOOR AND ABOVE, SPANDREL GLASS PROPOSED ON REAR/INTERIOR PANEL)
 - LOUVERED VENT TO MATCH WINDOW FRAME FINISH
 - EXISTING LIMESTONE VENEER FINISH TO REMAIN. CLEAN AND REPAIR AS NECESSARY, CLEANING AGENT, SPRAY AND ALL MATERIALS TO BE APPLIED SHALL BE TESTED BY THE CONTRACTOR IN A SMALL, UNOBTRUSIVE AREA, AND APPROVED BY ARCHITECT PRIOR TO WIDESCALE CLEANING.**
 - SECOND FLOOR RECESSED BALCONY METAL FLUTED COLUMNS TO REMAIN IN PLACE AND BE RESTORED (will be stored offsite for construction and put back in place)
- **PARAPET AND ROOF ALTERATIONS:**
 - NEW CAST STONE PARAPET CAP
 - LIMESTONE FINISH TO MATCH EXISTING OVER PERMABASE BRAND C.I. INSULATED CEMENT BOARD OR EQUAL WITH METAL WINDCLI COPING CAP TO MATCH WALL FINISH COLOR.
 - FIVE-FOOT HIGH METAL RAILING WITH STAINLESS STEEL WIRE MESH IN-FILL
 - RECESSED ROOF ADDITION/ALTERATION (NOT VISIBLE FROM THE STREET):
 - NEW E.I.F.S WALL FINISH
 - CANOPY AROUND PENTHOUSE STRUCTURE, TIED TO NEW ROOF STRUCTURE
 - STEEL CABANA STRUCTURE
 - NEW SMALL FORMAT TILE FINISH (LIGHT GRAY)
 - POWDER-COATED WINDCLIP METAL CAP

****Upper-level limestone cleaning, repair, and finishing:**

Limestone should be cleaned as necessary following guidance provided in the Technical Preservation Services publication Preservation Briefs 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings (link: <https://www.nps.gov/orgs/1739/preservation-briefs.htm>). Cleaning techniques will include using a gentle water wash of less than 400 psi with a gentle non-acidic detergent and natural fiber brush used as needed. If repointing is needed, a mortar mix that matches the composition, strength, color, texture, and joint profile of the historic mortar should be used.

Public Comment: No public comment received.

Recommendation: -

HAHC Action: -

DRAFT

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

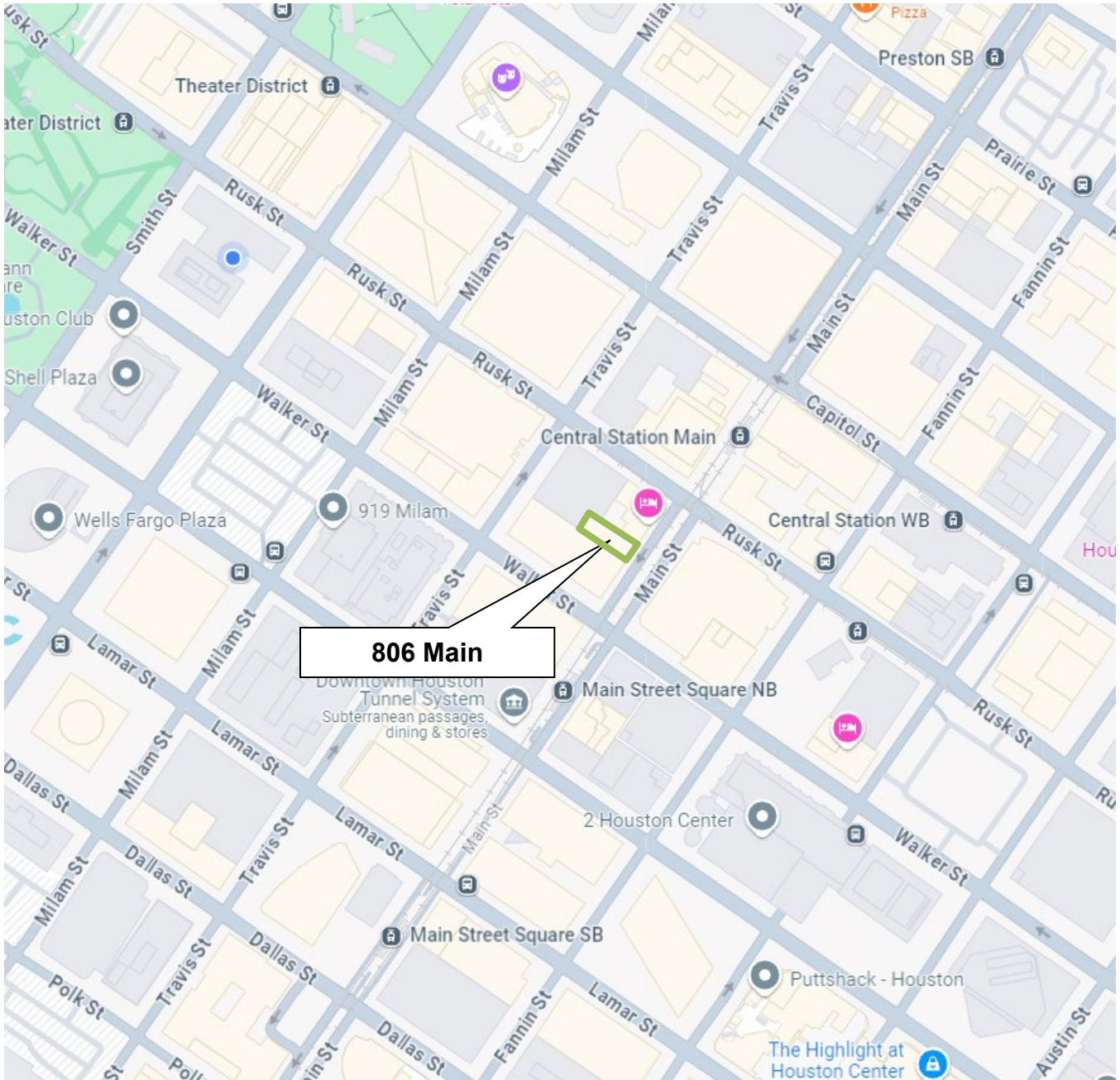
Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;
(10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);
(11) The proposed activity will comply with any applicable deed restrictions.



PROPERTY LOCATION



CURRENT PHOTO



HISTORIC PHOTOS



"Houston. Downtown street scene, Main street looking north from Walker Ave. Shows Walgreen's, Battlesteins, South Coast Life Insurance, Gulf Building, Rice Hotel. Bonds store on other side of street," 1959 Courtesy of Houston Metropolitan Research Center, Photographic Archives



Battlestein's, Fox, Stephen. Houston Architectural Guide

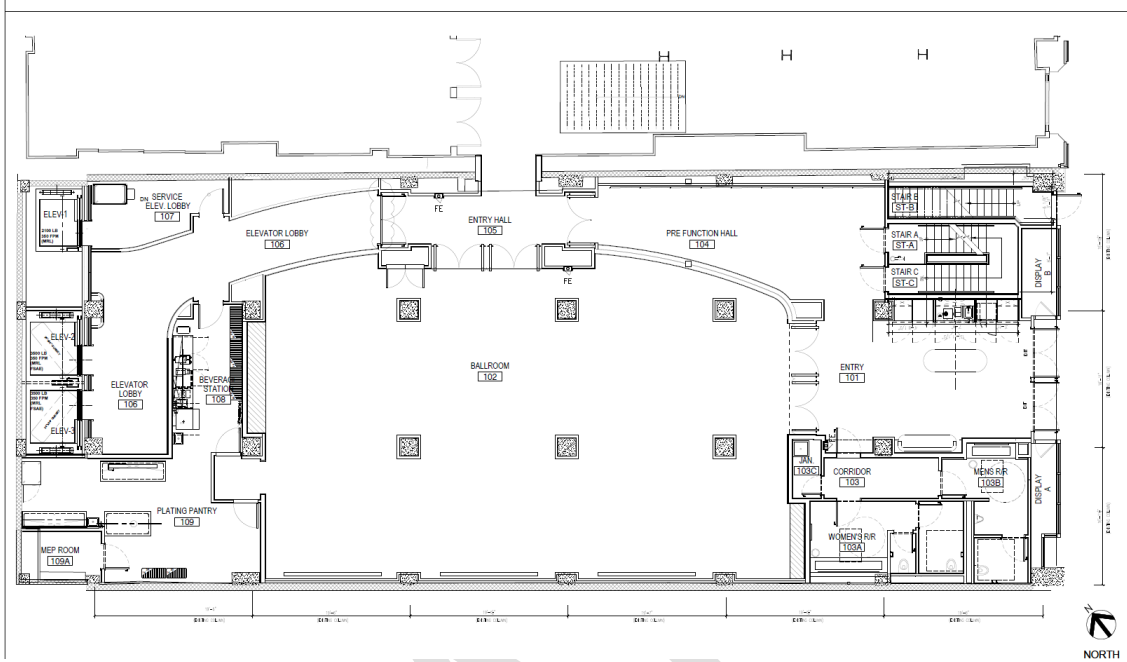
Houston: AIA Houston, 2012, pg 52.

SANBORN MAP

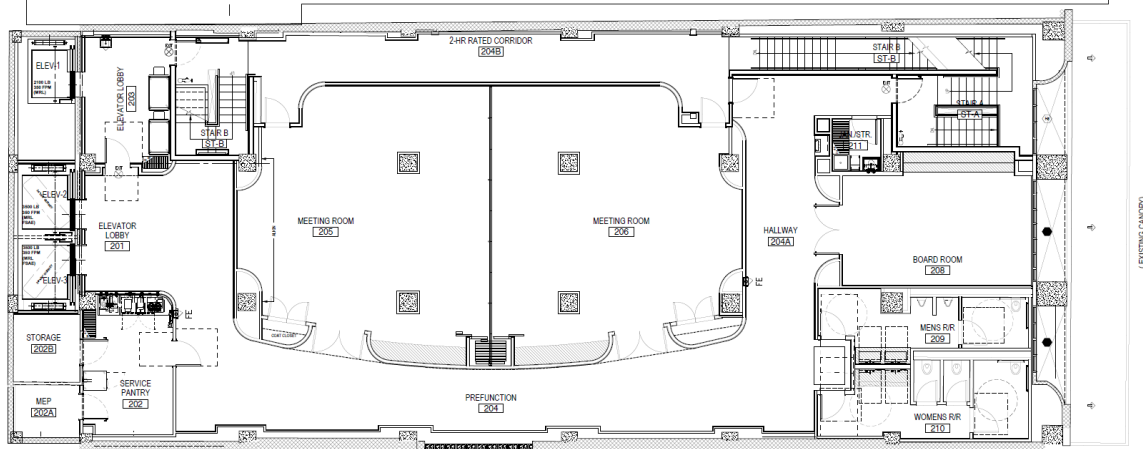


1907 Sanborn Map, Volume 1, Sheet 7 Courtesy of University of Texas at Austin, Perry-Castaneda Library Map Collection, Sanborn Fire Insurance Maps – Texas (1877-1922)

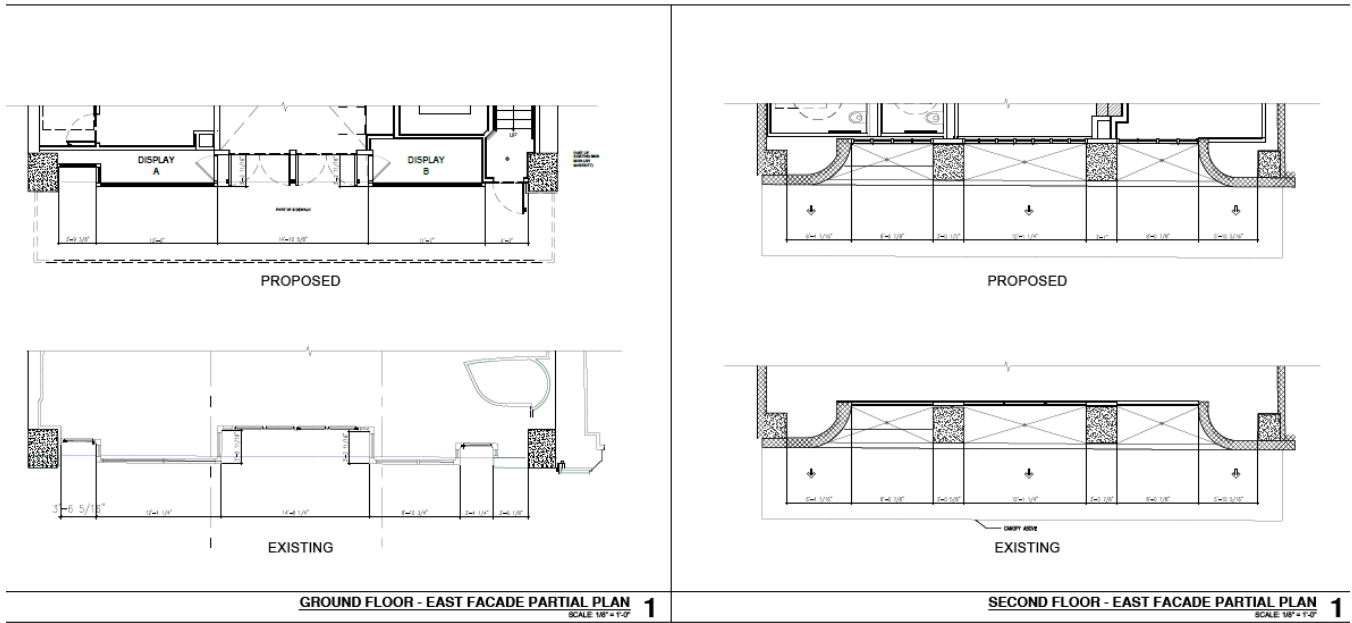
GROUND LEVEL FLOOR PLAN



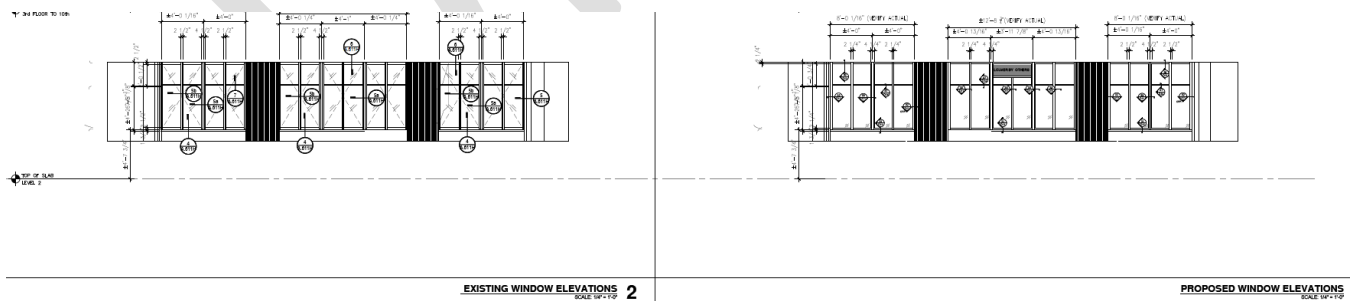
SECOND LEVEL FLOOR PLAN



GROUND & SECOND FLOOR PLANS
EAST FAÇADE PARTIAL PLAN



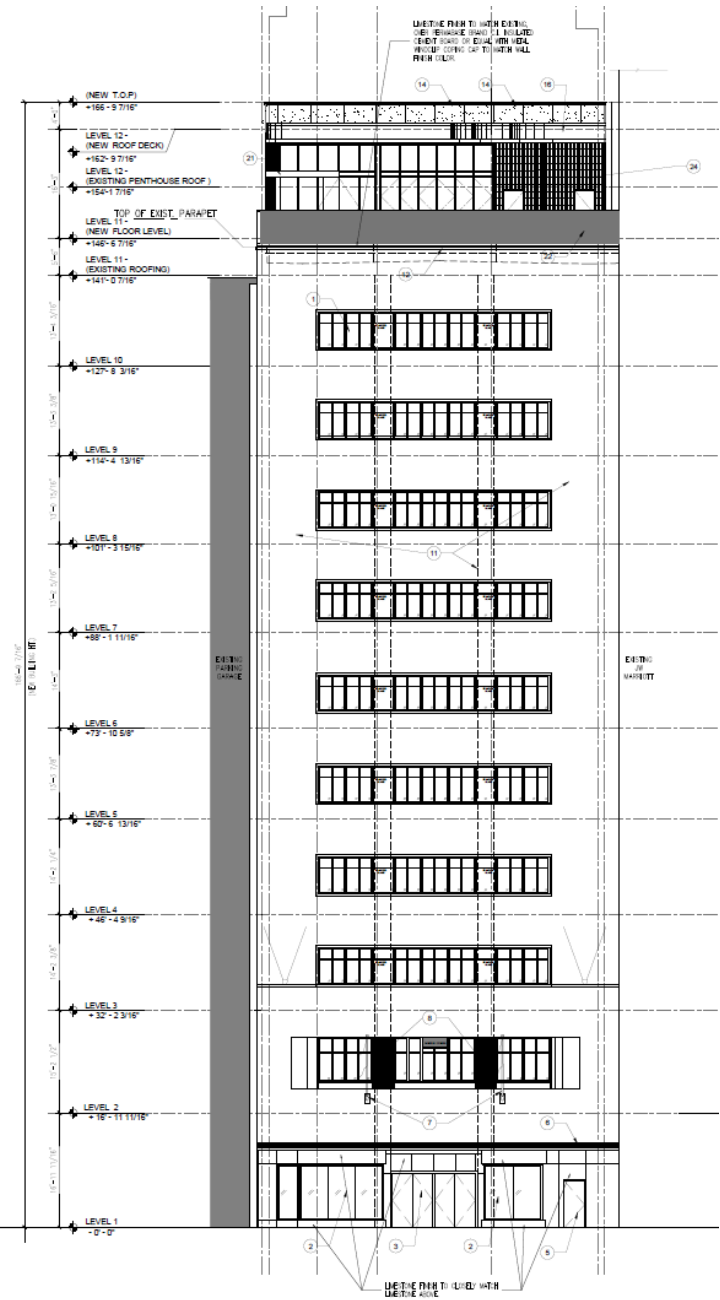
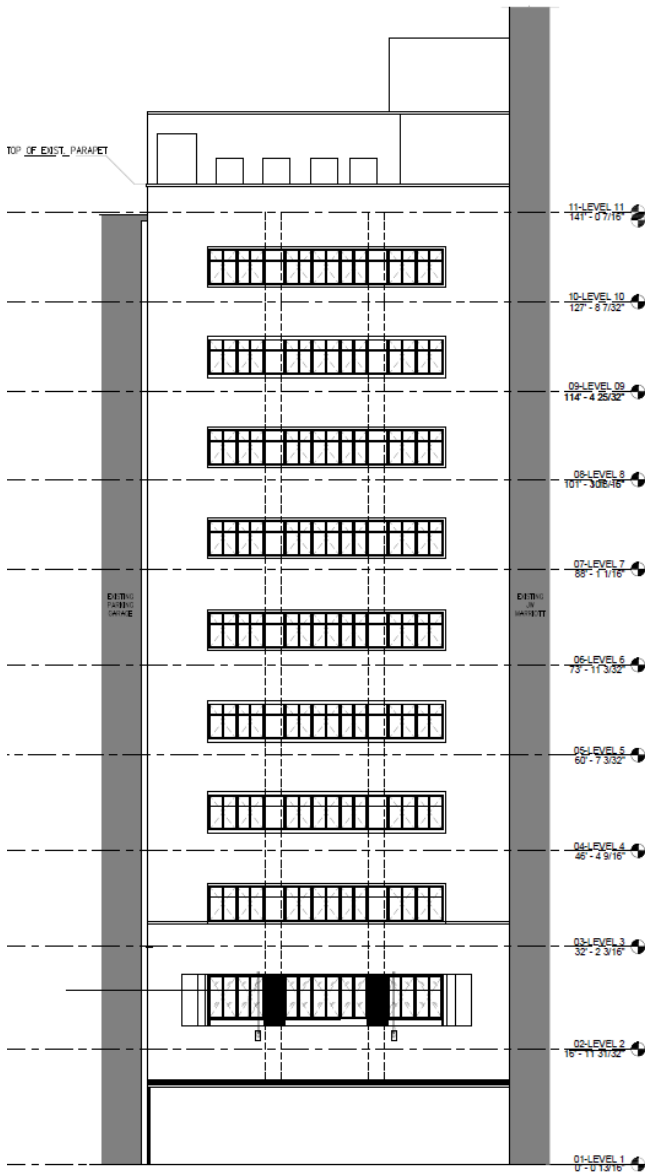
LEVEL 2 WINDOW ELEVATIONS



FRONT ELEVATION

EXISTING

PROPOSED



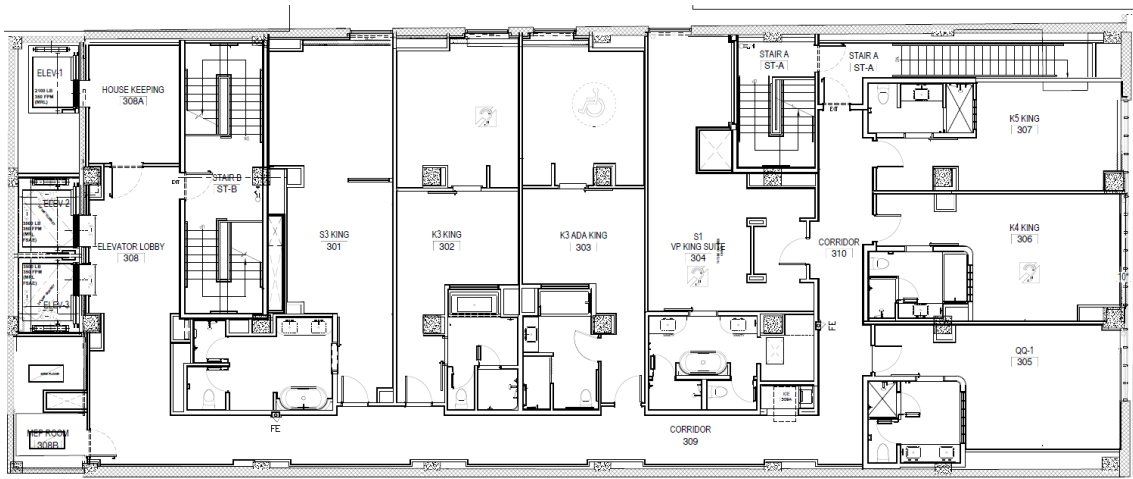
HISTORIC FACADE NOTES

- 1 NEW WINDOWS TO BE INSTALLED IN THE EXISTING OPENING. EXISTING FINISHES AROUND TO BE PRESERVED AND REPAIRED AS NEEDED.
- 2 NEW STOREFRONT GLAZING. RE: A.610
- 3 NEW ENTRY DOORS
- 4 FIRE STAIR "B" EXIT
- 6 NEW CANOPY TO REPLICATE HISTORIC CANOPY, SIMILAR IN SIZE AND MOUNTING HEIGHT AS THE ORIGINAL.
- 7 EXISTING FLAG POLES AND FINIALS TO BE RETAINED.
- 7 FLUTED METAL COLUMN-CLADDING TO REMAIN
- EXISTING LIMESTONE VENEER FINISH TO REMAIN. CLEAN AND REPAIR AS NECESSARY. CLEANING AGENT, SPRAY AND ALL MATERIALS TO BE APPLIED SHALL BE TESTED BY THE CONTRACTOR IN A SMALL, UNOBTUSIVE AREA, AND APPROVED BY ARCHITECT PRIOR TO WIDESCALE CLEANING.
- 22 FIVE-FOOT HIGH METAL RAILING WITH STAINLESS STEEL WIRE MESH IN-FILL

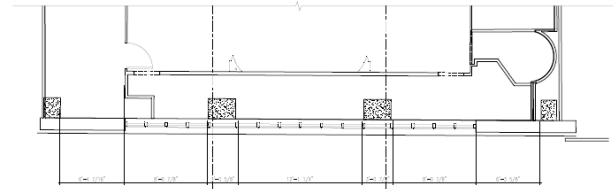
NEW STRUCTURE NOTES:

- 12 NEW CAST STONE PARAPET CAP
- 14 NEW E.I.F.S WALL FINISH
- 16 CANOPY AROUND PENTHOUSE STRUCTURE, TIED TO NEW ROOF STRUCTURE
- 21 STEEL CABANA STRUCTURE
- 24 NEW SMALL FORMAT TILE FINISH (LIGHT GRAY)
- 22 POWDER-COATED WINDCLIP METAL CAP

THIRD LEVEL FLOOR PLAN
THIRD AND FOURTH FLOOR PLANS

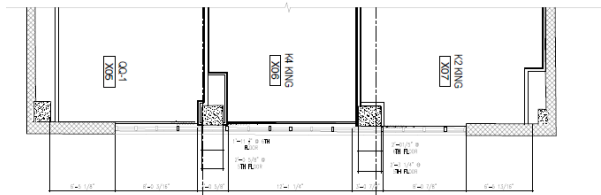


EAST FAÇADE PARTIAL PLAN

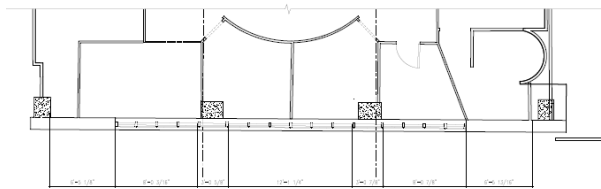


EXISTING

FOURTH FLOOR - EAST FAÇADE PARTIAL PLAN 2
SCALE: 1/8" = 1'-0"

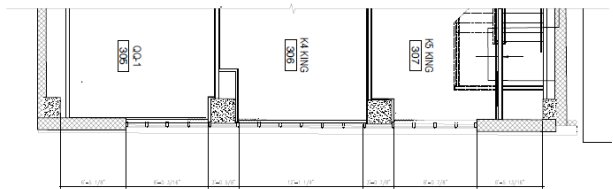


PROPOSED

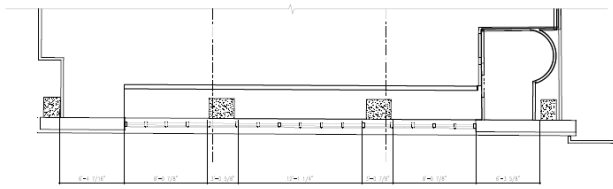


EXISTING

TYPICAL FLOOR - EAST FAÇADE PARTIAL PLAN 3
SCALE: 1/8" = 1'-0"



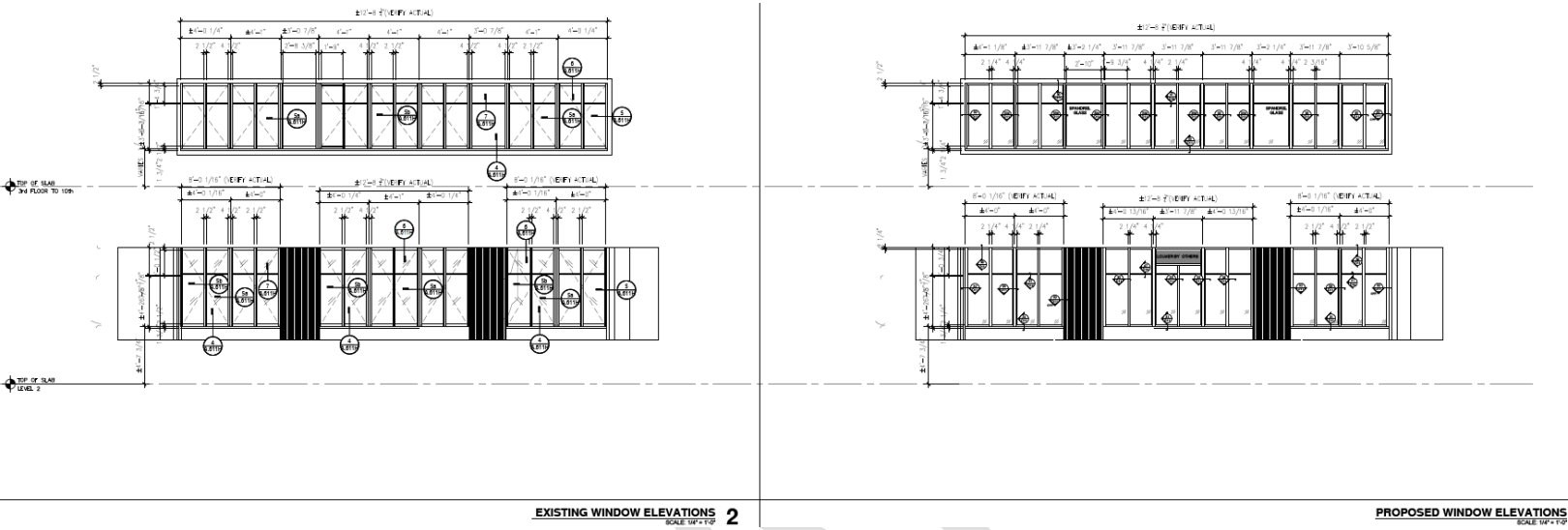
PROPOSED



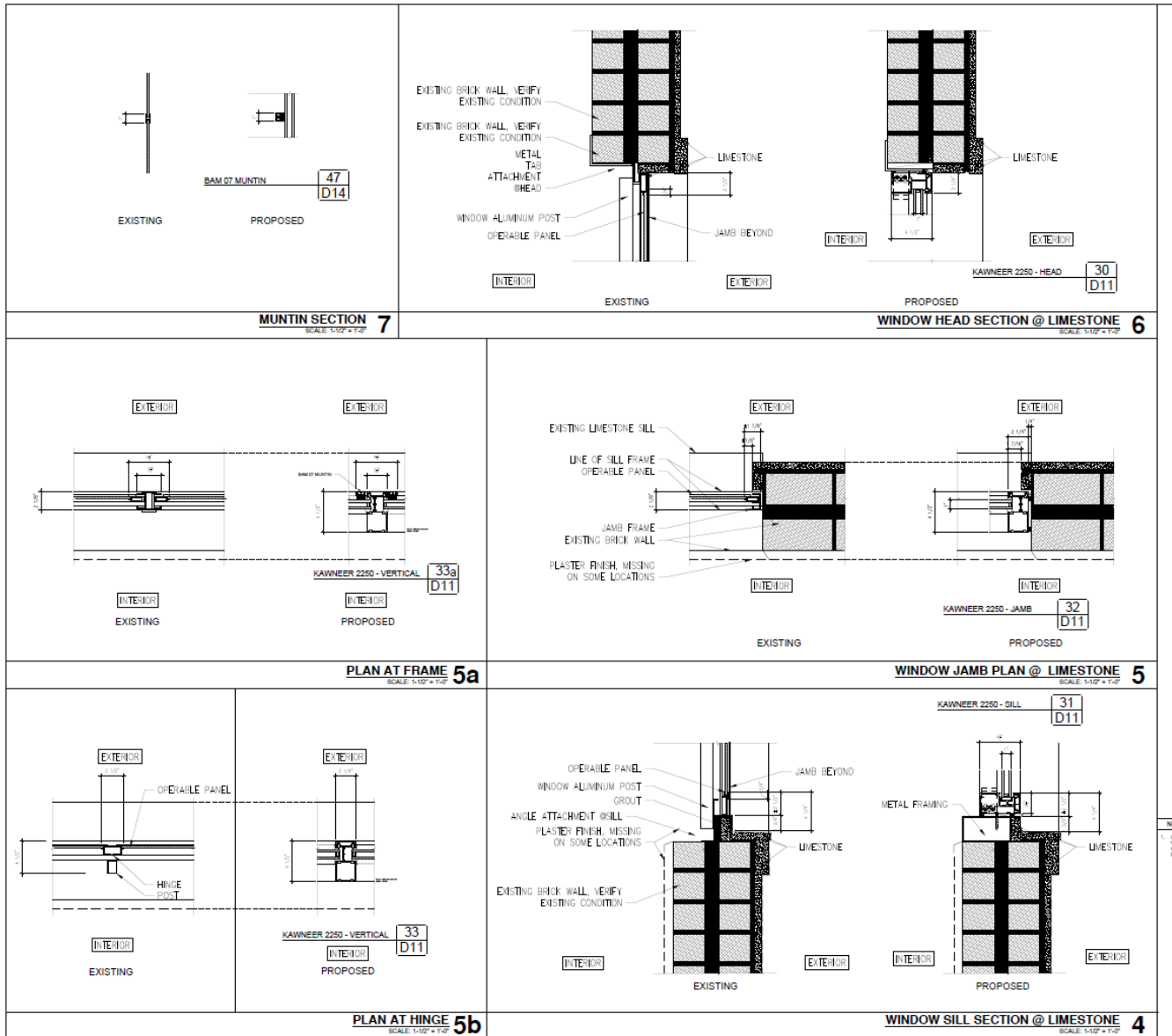
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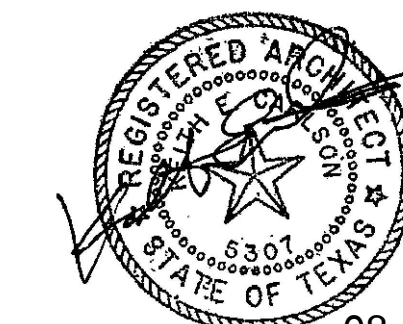
THIRD FLOOR - EAST FAÇADE PARTIAL PLAN 1
SCALE: 1/8" = 1'-0"

WINDOW ELEVATIONS
LEVEL 2 & LEVEL 3 TO 10



WINDOW DETAILS





JW MARRIOTT HOUSTON DOWNTOWN EXPANSION

806 Main St.
Houston, TX 77002

A Project for:
**SOUTHWEST VALUE
PARTNERS**

OWNER:
SWVP JW Houston LLC
12770 El Camino Real, Suite 200
San Diego, CA 92130

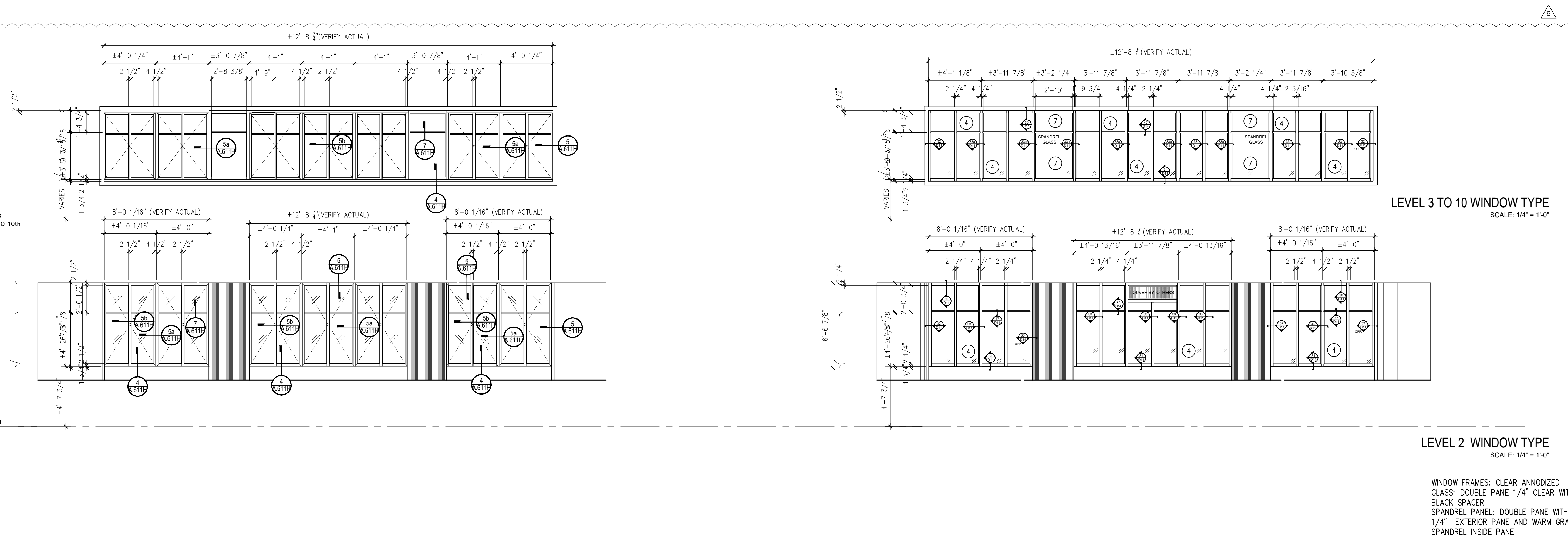
STRUCTURAL ENGINEER:
SCA Consulting Engineers
12511 Emily Court, Sugar Land, TX 77478
Phone Number: (832) 448-2000
www.vertika-se.com

MEP CONSULTANT:
CFI Companies - Consulting Engineers
2500 Wilcrest Drive Suite 150
Houston, Texas 77042
Phone Number: (346) 352-8072

INTERIOR DESIGN:
Rottet Studio
808 Travis St #100
Houston, Texas 77002
Phone Number: (713) 221-1830

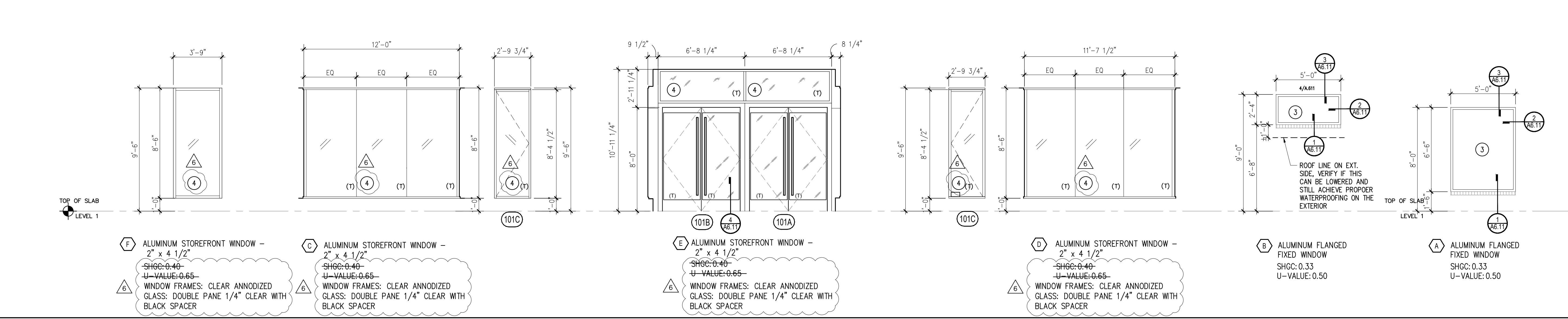
FOOD SERVICE:
C & T Design & Equipment Co., Inc.
9555 Baythorne Dr. Suite 200
Houston, TX 77041
Phone Number: (713) 682-6390

TECHNOLOGY ENGINEERS:
TKC
7156W 127th St.,
Palo Alto, CA 94303
Phone Number: (312) 767-2729

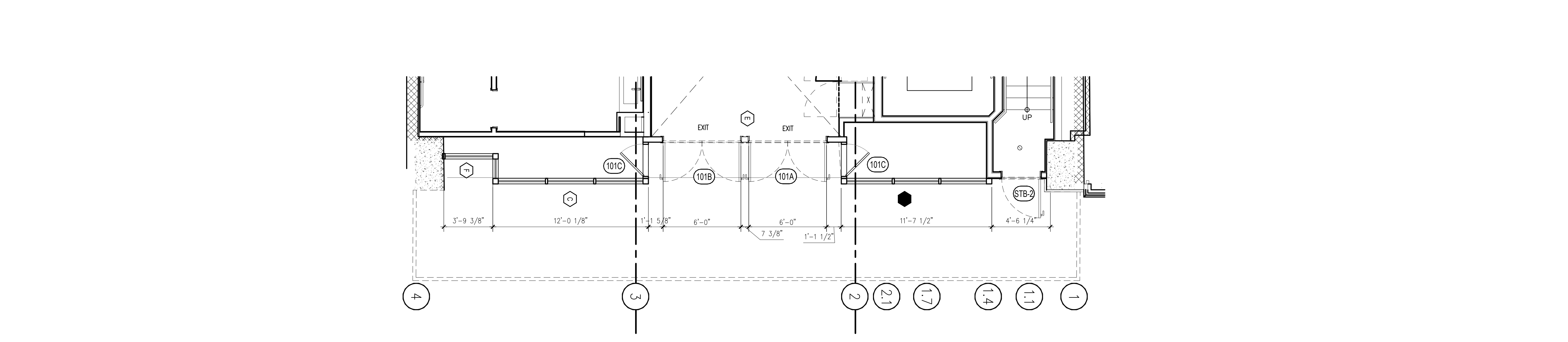


EXISTING EAST SIDE WINDOW ELEVATIONS SCALE: 1/4" = 1'-0" **2**

PROPOSED EAST SIDE WINDOW ELEVATIONS SCALE: 1/4" = 1'-0" **1**



LEVEL 1 WINDOW ELEVATION SCALE: 1/4" = 1'-0" **2**



LEVEL 1 WINDOW PLANS SCALE: 1/4" = 1'-0" **1**

- GLASS TYPES**
- 1/4" TEMPERED GLASS - CLEAR
 - 1/4" GLASS - CLEAR
 - 1" INSULATED GLASS TEMPERED - CLEAR w/ LOW - E COATING
 - 1" INSULATED GLASS - 1/4" CLEAR GLASS PANE ON BOTH SIDES PER HISTORIC REQUIREMENT
 - 1" INSULATED GLASS TEMPERED - BUTT GLASS w/ LOW - E COATING
 - 1" INSULATED GLASS - SOLAR GRAY TINTED w/ LOW - E COATING
 - 1" INSULATING GLASS - 1/4" CLEAR GLASS ON THE OUTSIDE, 1/4" WARM GRAY SPANDREL GLASS ON THE INSIDE
- NOTE:**
ALL EXTERIOR 1" CLEAR INSULATED GLASS EXCEPT DOORS TO HAVE LOW - E COATING. ALL WINDOW UNITS TO MEET THE U FACTOR AND SHGC VALUE SPECIFIED ON WINDOW SCHEDULE CERTIFIED IN ACCORDANCE WITH NFRC PER ENVELOPE COMCHECK EXCEPT WINDOWS NOTED BELOW.
- THE BUILDING IS HISTORIC AND WINDOWS REPLACING THE EXISTING WINDOWS ON THE EAST FACADE ARE SUBJECT TO COH HISTORIC COMMITTEE REQUIREMENTS AND ARE EXEMPT FROM IECC REQUIREMENTS.

- GENERAL NOTES**
- ALL WINDOWS AND STORE FRONT SHALL BE FIELD MEASURED PRIOR TO FABRICATION.
 - ALL MISCELLANEOUS WOOD BLOCKING SHALL BE FIRE RETARDANT AND WEATHER TREATED AND CLASS "C" WITH A MAXIMUM FIRE SPREAD OF 200
 - ALL GLASS IN DOORS, SIDE LIGHTS AND OTHER HAZARDOUS AREAS SHALL BE SAFETY AND IMPACT GLASS MEETING THE REQUIREMENTS OF SECTION 2408 AND I.B.C. STANDARDS 24-1 AND 24-2

- SMOKE REMOVAL**
- 403.4.7 SMOKE REMOVAL TO FACILITATE SMOKE REMOVAL IN POST-FIRE SALVAGE AND OVERHAUL OPERATIONS, BUILDINGS AND STRUCTURES SHALL BE EQUIPPED WITH NATURAL AND MECHANICAL VENTILATION FOR REMOVAL OF PRODUCTS OF COMBUSTION IN ACCORDANCE WITH ONE OF THE FOLLOWING:
- EASILY IDENTIFIABLE MANUALLY-OPERABLE WINDOWS OR PANELS SHALL BE DISTRIBUTED AROUND THE PERIMETER OF EACH FLOOR AT NO MORE THAN 60-FOOT INTERVALS. THE AREA OF THE OPERABLE WINDOWS OR PANELS SHALL BE NOT LESS THAN 40 SQUARE FEET PER 50 LINEAR FEET OF PERIMETER.
 - WINDOWS SHALL BE PERMITTED TO BE FIXED PROVIDED THAT GLAZING CAN BE CLEARED BY FIRE FIGHTERS.
- PROVIDE THE SIGNAGE BELOW TO EASILY IDENTIFY THE PANELS REQUIRED.
-
- TEMPERED GLASS SYMBOL TO BE INSTALLED ON GLASS WINDOW, LOWER RIGHT-HAND CORNER

WINDOWS ELEVATION TYPES

DATE	DESCRIPTION
05/07/2024	ISSUE FOR CONSTRUCTION/REVISION 1
06/14/2024	REVISION 2
08-19/2024	ARCHITECTURAL REVISION 3
08/23/2024	ARCHITECTURAL REVISION 4, 5
09/20/2024	ARCHITECTURAL REVISION 6
8/20/2024	HISTORIC SUBMISSION
8/27/2024	HISTORIC SUBMISSION

PROJECT NUMBER:
1914

SHEET NUMBER:
A.610A

Battelstein's, 812 Main (806 Main)

Replacement window metal and glass samples – same for storefront

Proposed Aluminum Finish:



Kawneer Anodize finishes

Kawneer gives you a wide variety of anodized finishes with attractive alternatives. The benefit of a durable, anodized finish is married to the beauty of some very dynamic and exciting colors.

At the start of every design, there's a choice of how you want to finish. Contact your Kawneer sales rep for the information on these and other finishes available from Kawneer.

	KAWNEER FINISH NO.	COLOR	ALUMINUM ASSOCIATION SPECIFICATION	OTHER COMMENTS
	#14	CLEAR	AA-M10C21A41	Architectural Class I (.7 mils minimum)
	#17	CLEAR	AA-M10C21A31	Architectural Class II (.4 mils minimum)
	#18	CHAMPAGNE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#26	LIGHT BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#28	MEDIUM BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#40	DARK BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#29	BLACK	AA-M10C21A44	Architectural Class I (.7 mils minimum)

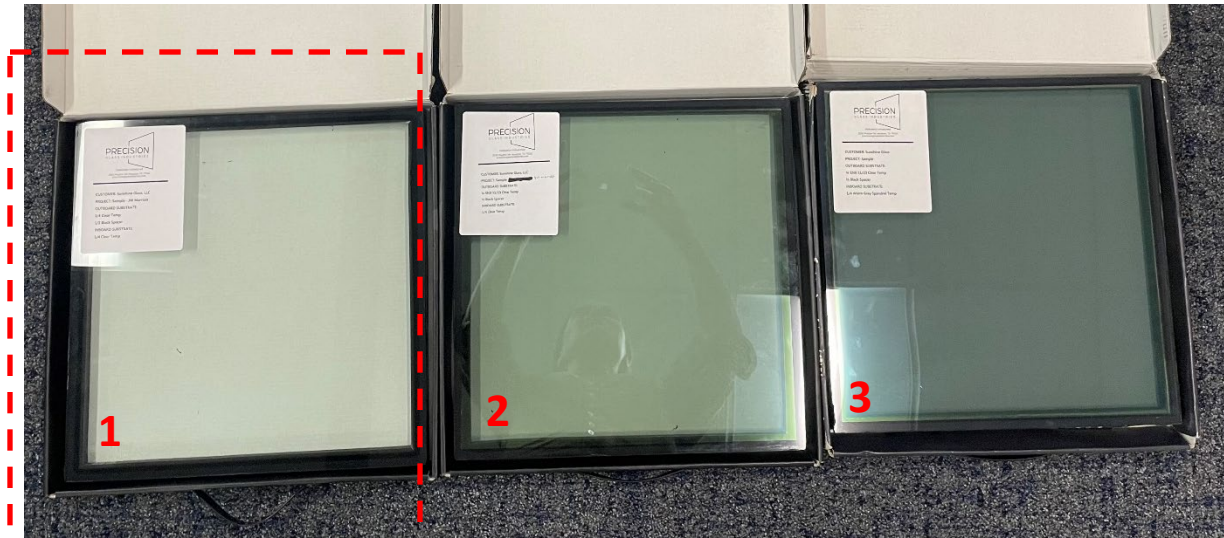
Proposed Finish Comparison to Historic Windows:
Clear Anodized Finish (#14 and #17)



Proposed Aluminum Finish:
Clear Anodized Finish (#14 and #17)



Proposed Glass Sample in **RED**, two other options for points of comparison:



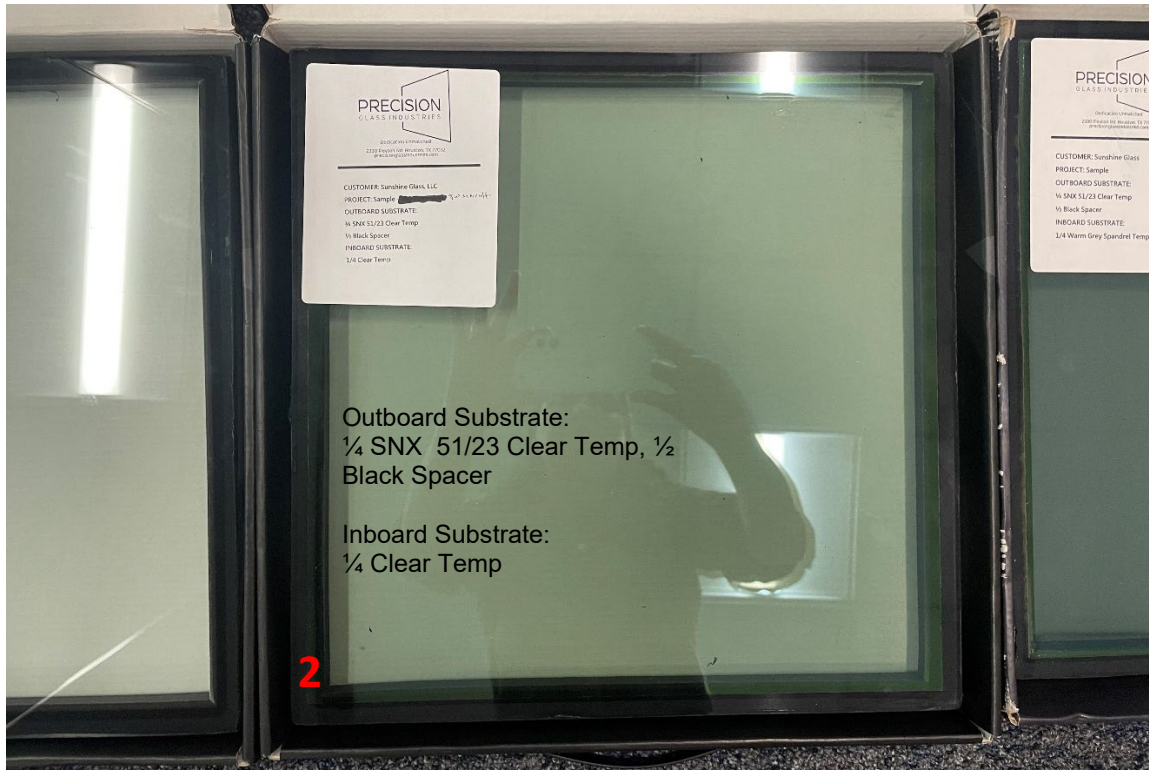
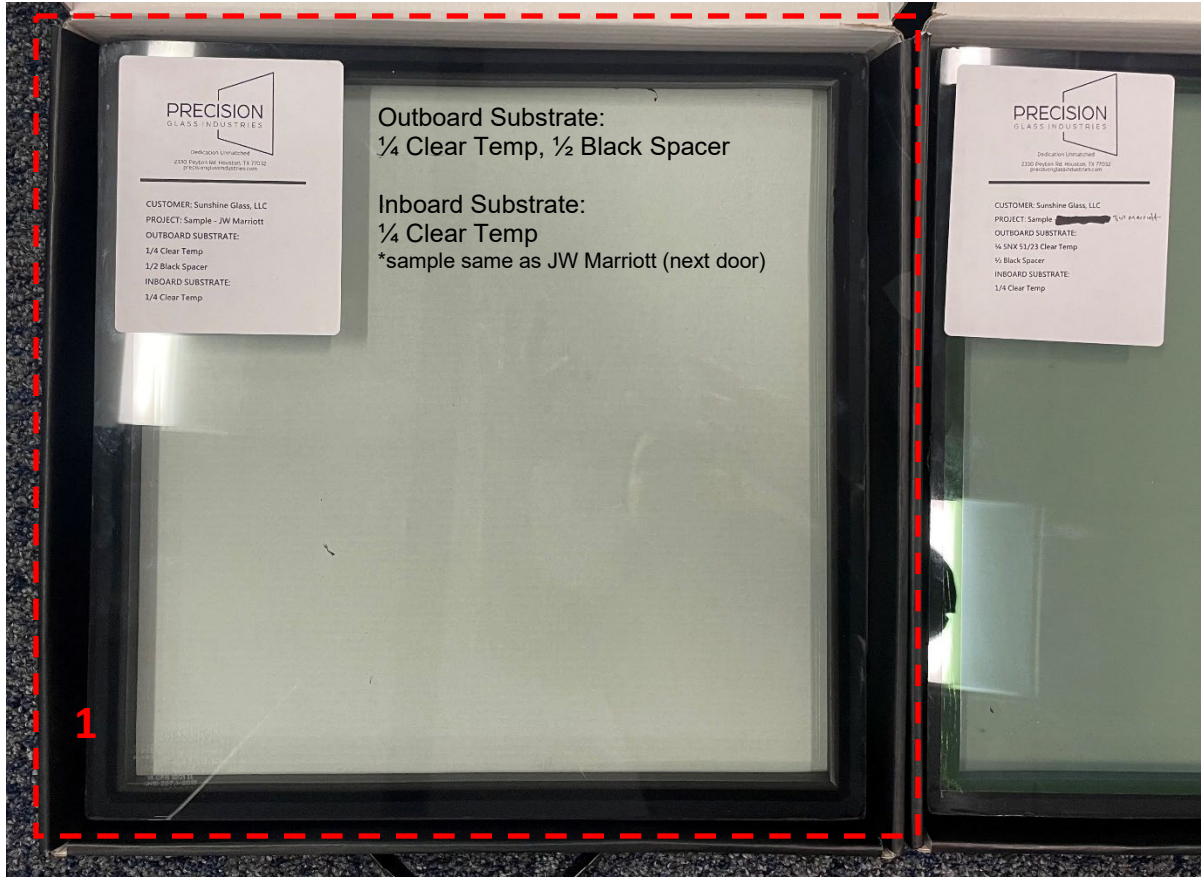
1.
Outboard Substrate:
 ¼ Clear Temp, ½ Black Spacer
Inboard Substrate:
 ¼ Clear Temp
 *sample same as JW Marriott (next door)

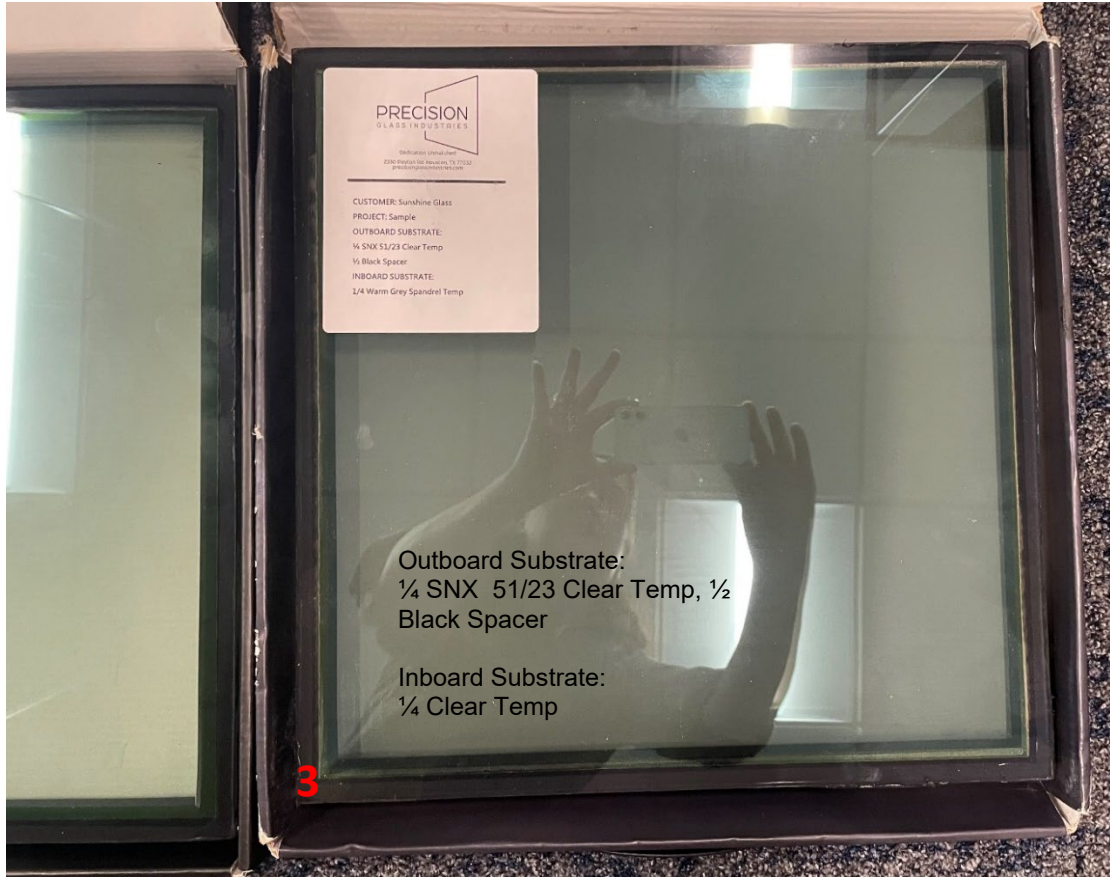
2.
Outboard Substrate:
 ¼ SNX 51/23 Clear Temp,
 ½ Black Spacer
Inboard Substrate:
 ¼ Clear Temp

3.
Outboard Substrate:
 ¼ SNX 51/23 Clear Temp, ½
 Black Spacer
Inboard Substrate:
 ¼ Warm Grey Spandrel Temp

THC/NPS typically recommends that clear glass replacements should be approximately 70% -80% VLT and VLR 12% or lower.

	Glass Type	VLT (%)	VLR In (%)	VLR out (%)
3	SNX 51/23 Clear + Clear	51	14	14
2	SNX 51/23 Clear + Clear with Warm Gray Spandrel	0	18	27
1	Clear + Clear no Low E	79	15	15



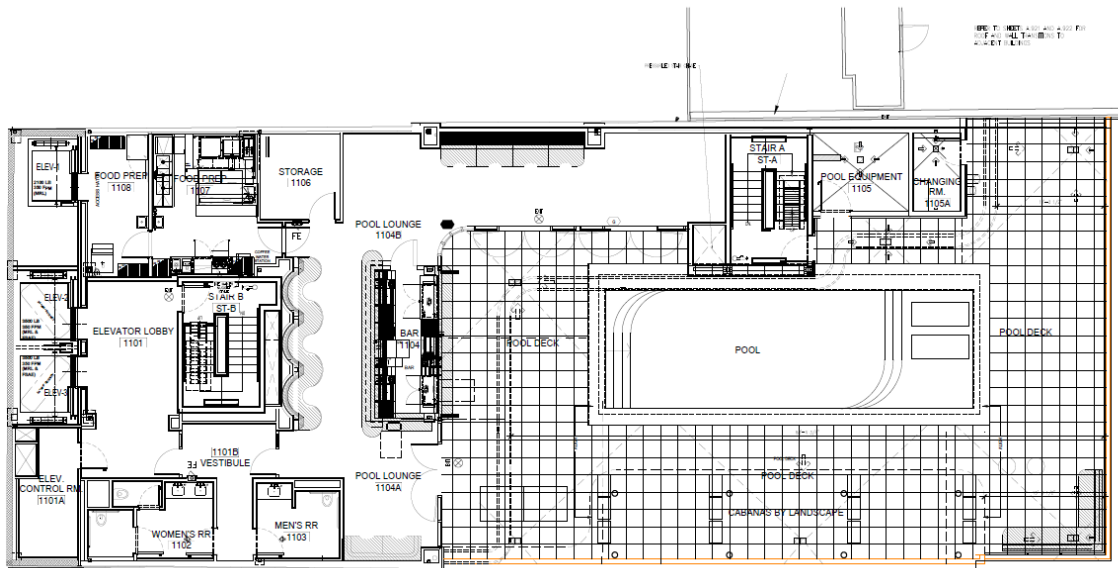


Example from JW Marriott/806 Main Street (LM)



- 1.
- Outboard Substrate:
1/4 Clear Temp, 1/2 Black Spacer
- Inboard Substrate:
1/4 Clear Temp
- *sample same as JW Marriott (next door)

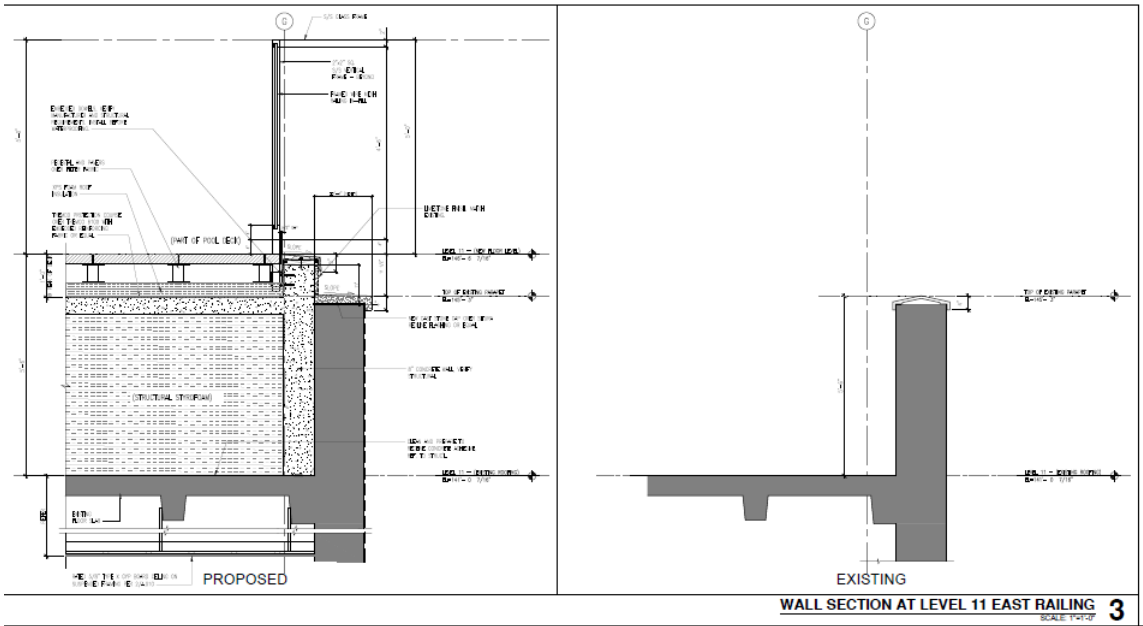
11th FLOOR POOL & DECK PLAN



PROPOSED 3D & RENDERING

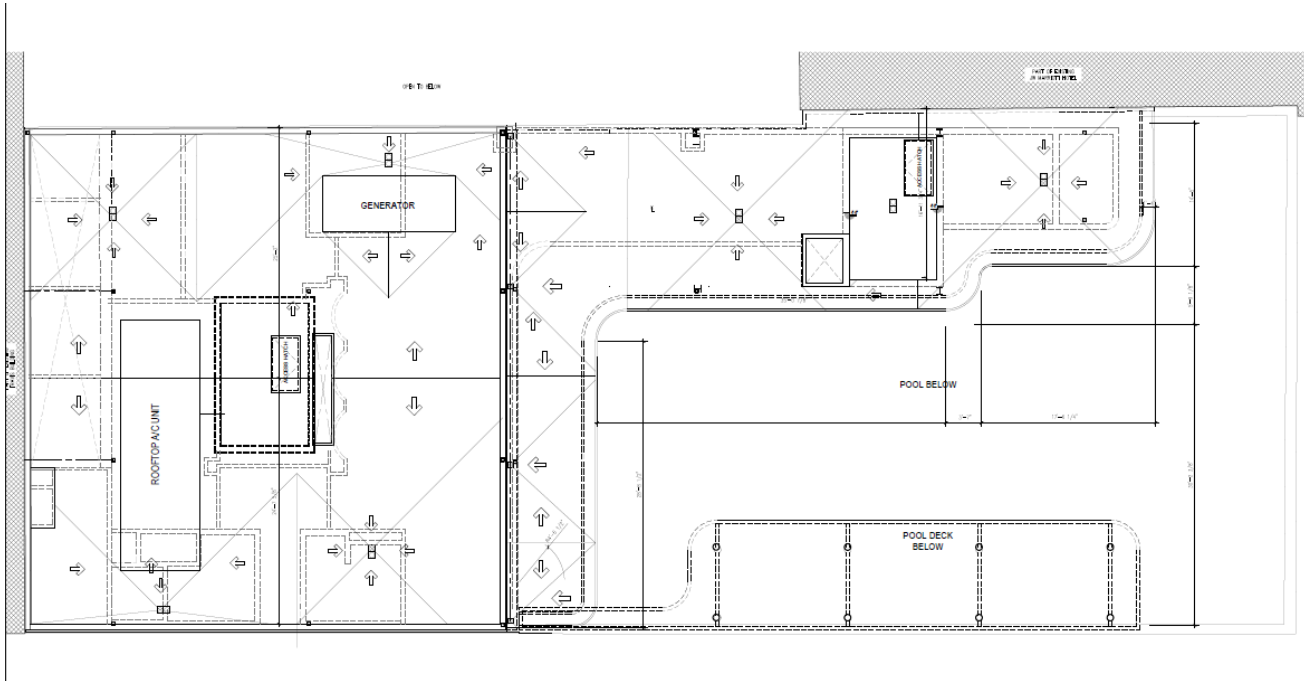


**WALL SECTION AT LEVEL 11
EAST RAILING**



WALL SECTION AT LEVEL 11 EAST RAILING
SCALE 1/4" = 1'-0"
3

**ROOF PLAN
PROPOSED**



APPLICANT'S MATERIAL

DRAFT

Battelsteins
812 Main St. (806 Main St.)
Current Photos



Photo 1: East elevation facing Main Street; view north.



Photo 2: East elevation facing Main Street; view southwest.

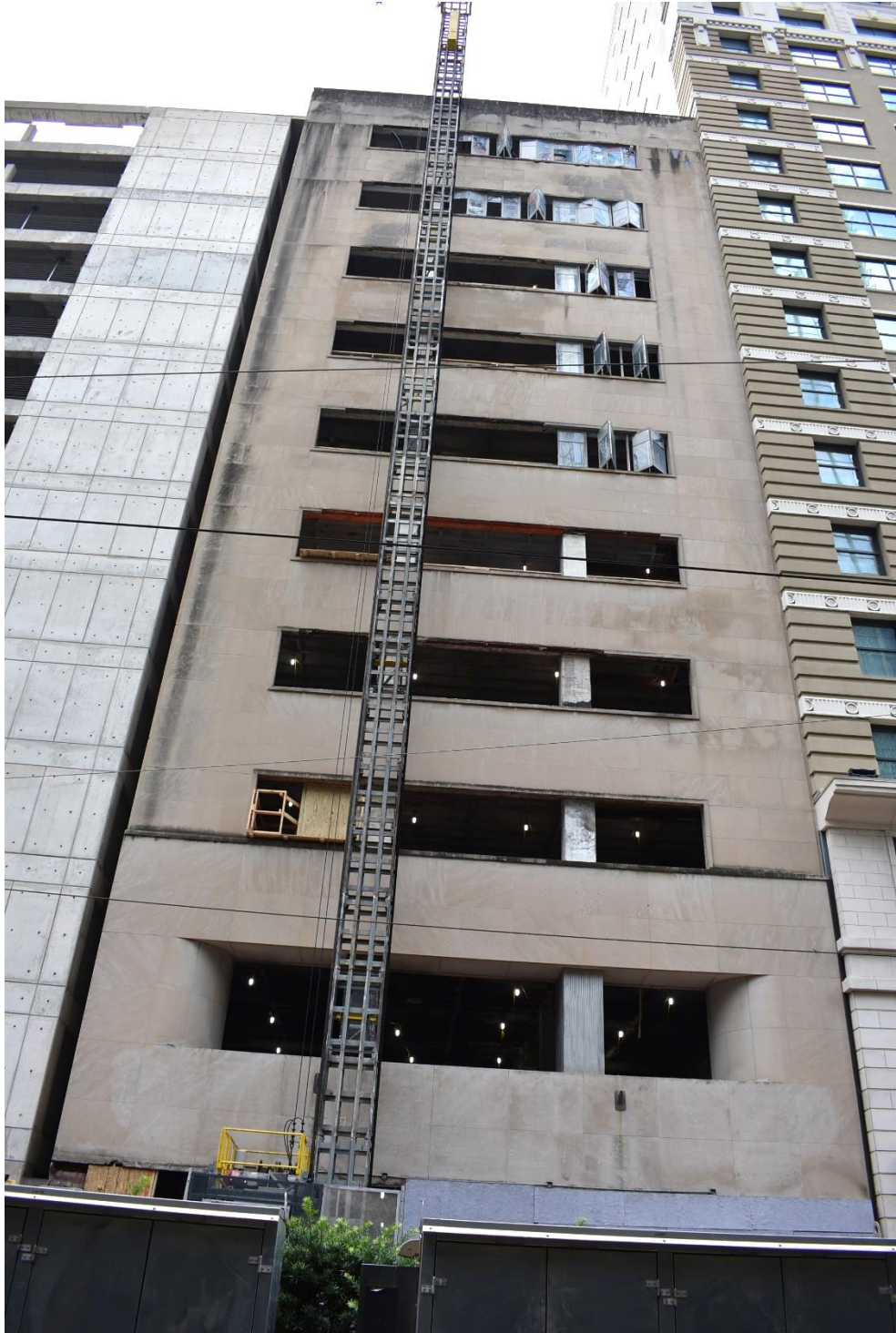


Photo 3: East elevation facing Main Street; view west.



Photo 4: East elevation facing Main Street; view southwest.



Photo 5: East elevation facing Main Street; view southwest.



Photo 6: East elevation facing Main Street, detail of upper floors ribbon windows; view north.



Photo 7: East elevation facing Main Street; view southwest.



Photo 8: East elevation facing Main Street, detail view of exterior limestone and brick; view north.



Photo 9: East elevation facing Main Street, detail view of second and third floor exterior limestone and brick; view west.



Photo 10: East elevation facing Main Street, detail view of exterior limestone and brick; three-quarter view north.

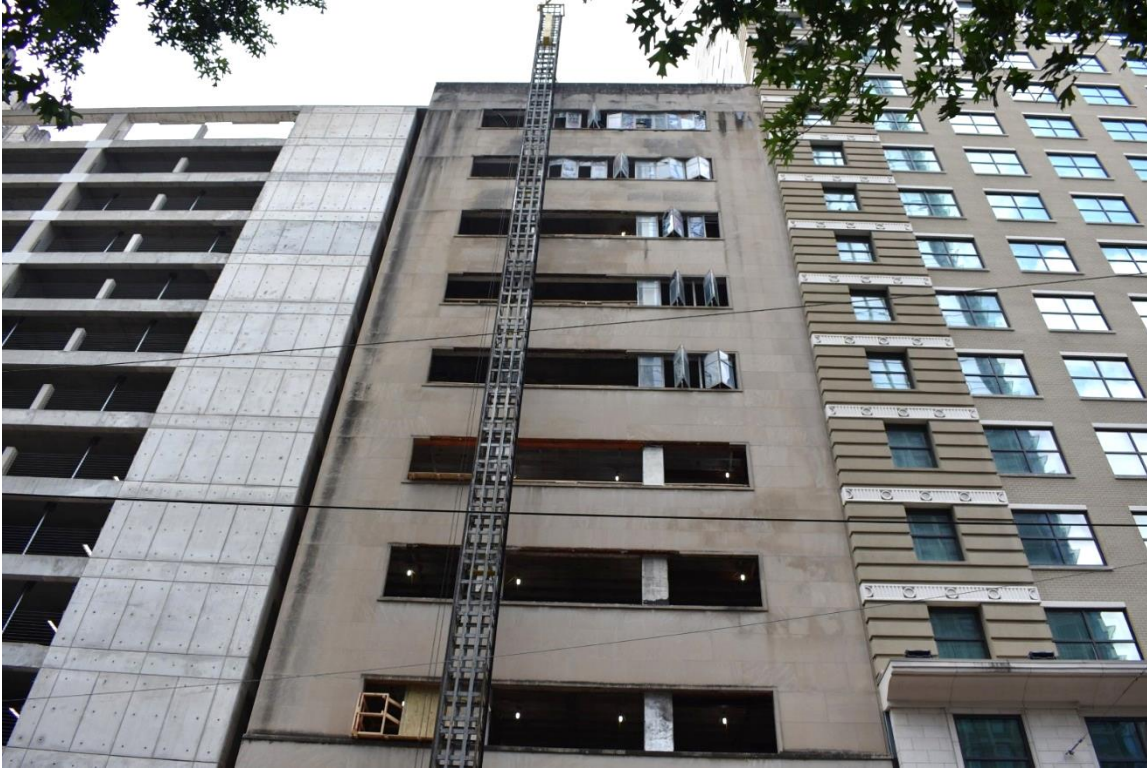


Photo 11: East elevation facing Main Street, upper floors exterior; view west.



Photo 12: East elevation facing Main Street, upper floors; view northwest.



Photo 13: East elevation facing Main Street, upper floors; view west.



Photo 14: East elevation facing Main Street, lower floors; view west.



Photo 15: East elevation facing Main Street, lower floors; view southwest.



Photo 15: East elevation facing Main Street, fourth floor and south elevation exterior; three-quarter view north.



Photo 16: East elevation facing Main Street, third and fourth floor; view west.



Photo 17: East elevation facing Main Street, second and third floor exterior, view west.



Photo 18: East elevation facing Main Street, detail of second and third floor transition; view west.



Photo 19: East elevation facing Main Street, second floor exterior; view southwest.

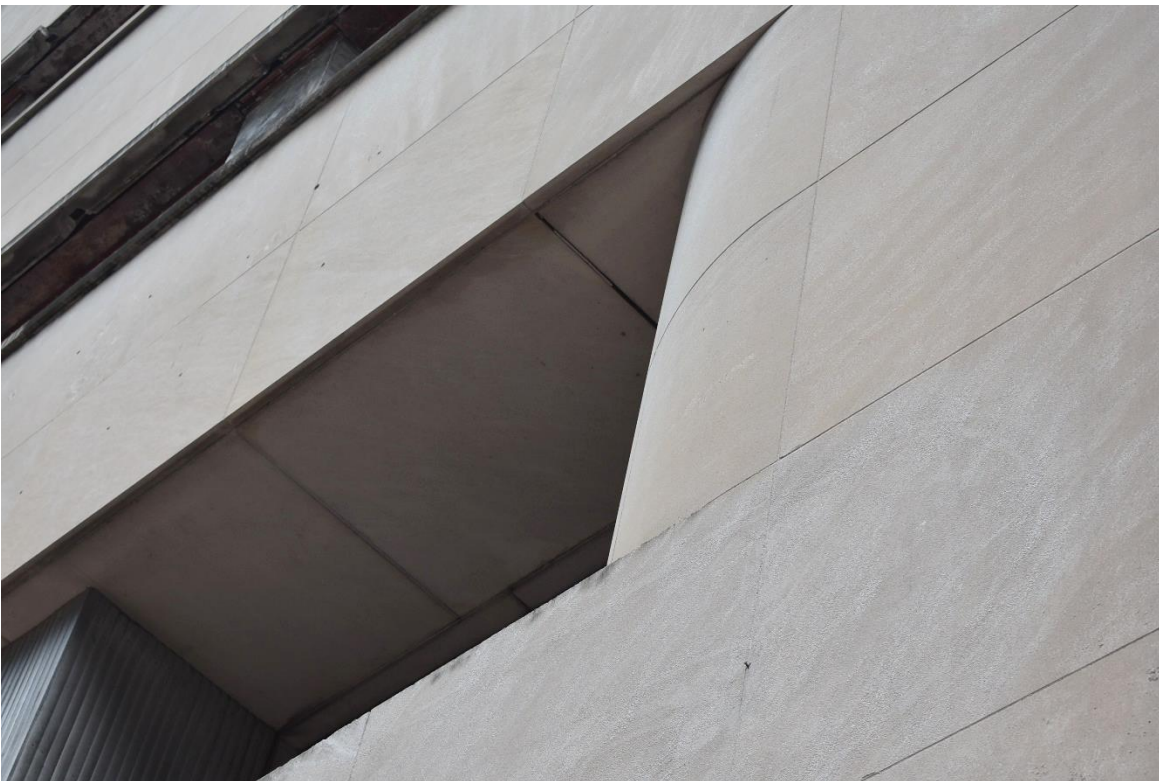


Photo 20: East elevation facing Main Street, second floor exterior details, view southwest.



Photo 21: East elevation facing Main Street, detail of limestone façade; view north.