

CERTIFICATE OF APPROPRIATENESS**Application Date:** April 12, 2024**Applicant:** Tim Cisneros, agent for, Sonny BazBaz, owner**Property:** 3400 White Oak Dr, Lots 11 & 12, Block 279, Houston Heights Neighborhood Subdivision. The property includes a historic 9,640 square foot, two-story brick veneer commercial situated on a 13,198 square foot (132' x 100') corner lot.**Significance:** Contributing Storefront brick commercial, constructed circa 1930, located in the Houston Heights South Historic District. Approved COA in Dec. 2022 to remove non-historic brick on south elevation and install doors/windows on east elevation at existing and infilled openings. Approved at Nov. 9, 2023 for alteration to right (East) elevation ONLY.**Proposal:** Alteration: Storefront Front Façade, Side and Rear Elevations**No Changes to Existing Roof.****ALL PROPOSED WINDOWS AND DOORS IN METRO STEEL IN A DARK BRONZE COLOR****Front (South) Elevation**

1. Propose Acme brick of Shamrock color at top of façade where corrugated metal was in place
2. Propose a cantilevered awning of a dark bronze color extending 5' forward of façade
3. Propose sets of transom windows beneath proposed awning of varying dimensions ****progressing from left to right****
 - a. Labeled D, 7'8" x 2'-7 1/2" divided into 4 lite patterns
 - b. Labeled A.-1, 3'10" x 2'-7 1/2" divided into 2 lite patterns
 - c. Labeled H (above proposed garage door openings),
 - i. 12' x 2'-7 1/2" divided into 4 lite patterns
 - d. Labeled F.-1, 10'4" x 6'8" divided into 4 lite patterns
 - e. Labeled E.-1 (beginning of arched transom windows)
 - i. 8' x 2' divided into 3 lite patterns
 - f. Labeled B.-1, (beginning of arched transom windows)
 - i. 4'4" x 2' divided into 2 lite patterns
 - g. Labeled E.-1, (beginning of arched transom windows)
 - i. 8' x 2' divided into 3 lite patterns
 - h. Labeled C.-1, (on right-hand side of drawing)
 - i. 5'10" x 2' divided into 2 lite patterns
 - i. Labeled G (above door on right-hand side of line drawing)
 - i. 4'4" x 2' divided into 2 lite patterns
4. Propose Berridge L-Panel in a dark bronze color above proposed arched windows
5. Propose Acme brick of Shamrock color in the space between transom windows and storefront windows & doors

- 6. Proposed windows and doors ****progressing from left to right****
 - a. Window labeled A, 3'10" x 6'8"
 - b. Door labeled C, 3'6" x 8'8" of metal & wood material
 - c. Window labeled A, 3'10" x 6'8"
 - d. Garage openings, 12' W x 8'8" H
 - e. Window labeled F, 10'4" x 6'8"
 - f. Window labeled E, 8' x 6'8" divided into 3 lite patterns
 - g. Window labeled B, 4'4" x 6'8" divided into 2 lite patterns
 - h. **Same as f above** for next 3 sets of proposed windows
 - i. Window labeled C, 5'10" x 6'8" divided into 2 lite patterns
 - j. Door labeled A, 4' x 8'8" of metal & wood material
 - k. Same as i above

Proposed Side and Rear Elevations

- 1. Arched transom window and pair of windows below on right (East) elevation previously approved by HAHC.
 - a. Revised right (East) elevation previously approved by HAHC on 11-9-2023
 - b. Revised right (East) elevation by HAHC on 12-2022
- 2. Demolish existing wall at the rear of the left (West) elevation
- 3. Replace existing columns with new columns at rear corner of rear (North) elevation
- 4. Remove infill and replace with fixed, steel windows in a dark bronze color with no change to openings on rear (North) elevation

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Denial - does not satisfy criteria	1, 3-7, 9 and Houston Heights Design Guidelines
HAHC Action: -	

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

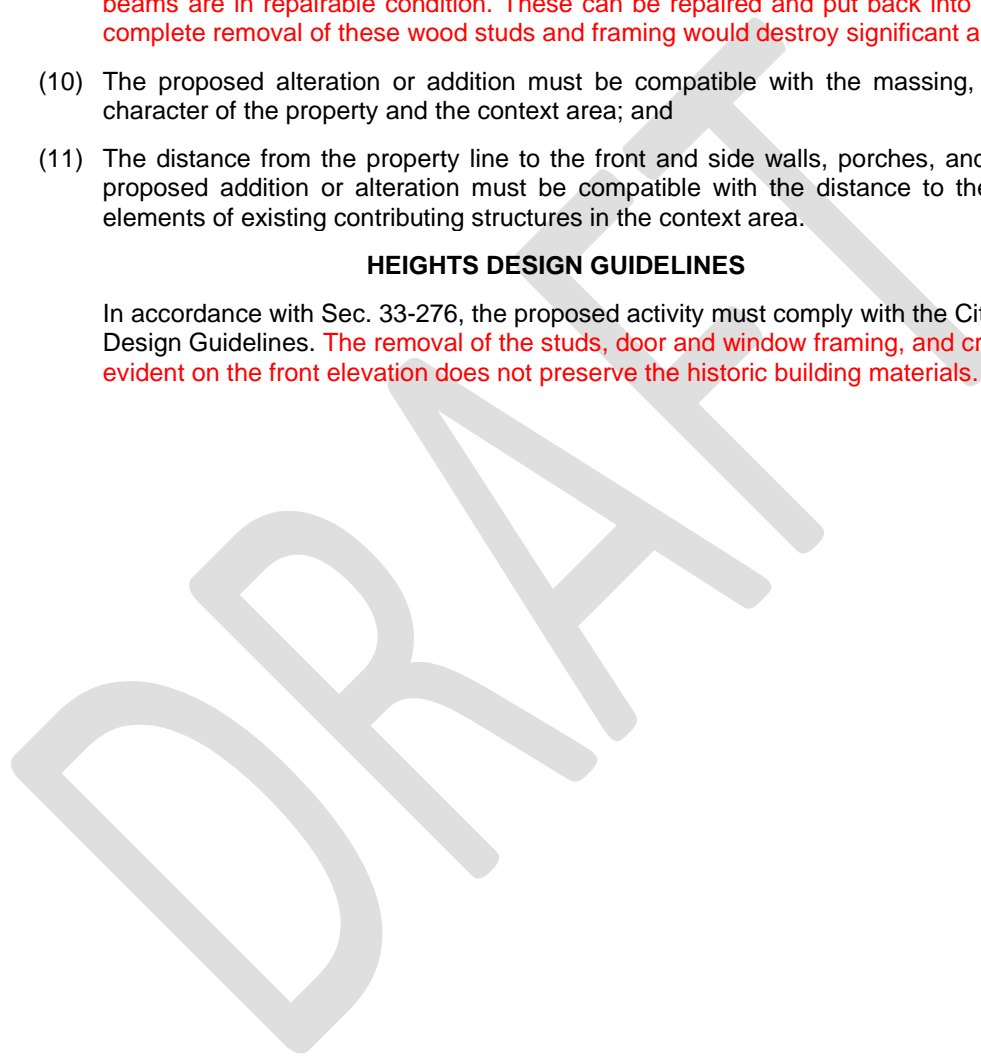
- | S | D | NA | |
|-------------------------------------|-------------------------------------|--------------------------|--|
| | | | S - satisfies D - does not satisfy NA - not applicable |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; The proposed front elevation does not preserve the historical character of the façade. A storefront is the most important architectural feature of historic commercial buildings. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; The proposed front elevation creates a later appearance. The existing openings (doors & windows) shows a distinguishing feature pattern of regularly spaced load-bearing brick columns, door openings, window openings, and window sashes, particularly on the right half of the façade where there exists semicircle sashes. The proposed metro steel in bronze color framing for the windows and doors creates a later appearance – creating a contemporary appearance – and DOES NOT recognize the building/structure as a product of its own time. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; The proposed front elevation removes the distinguishing fenestration configurations and does not preserve the storefront’s distinguishing architectural feature. Storefront doors were often flanked by large, display windows. The removal of several door openings does not preserve the storefronts distinguishing quality and historical character. Transoms above the display windows became key elements in early 20th century storefronts. These transoms of the past could be opened to permit air circulation into the store. Proposed openings on rear (North) elevation does not preserve the environment nor the quality and character of the building. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; The proposed front elevation does not maintain nor does it replicate the distinctive fenestration configurations. The proposed front elevation eliminates a brick column and door/window opening for the widening of a vehicle bay. This elimination diminishes its historical character. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; Replacement of once existent brick columns with Acme brick in shamrock color ARE NOT visually compatible with the materials that once existed in form, design, and texture. The proposed metro steel in bronze color for the doors and windows ARE NOT visually compatible as the evidence from the once existent front façade showed the original fenestration – doors and windows – were framed in wood. Proposed acme brick of shamrock color where large wood beams placed horizontally that spanned the width of the front façade ARE NOT visually compatible with the materials being replaced. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; The existing front elevation shows physical evidence of a distinctive fenestration pattern including semicircle window sashes on the right half of the elevation. The proposed front elevation does not accurately duplicate the existing fenestration openings as it removes several door openings, display windows, and transom windows along with a character-defining semicircle sashes in the transoms on the right half of the front elevation. The proposed replacement of the doors and windows with metro steel in |

a bronze color is NOT based on an accurate duplication of features. The proposed replacement of the horizontal wood beams that spanned the width of the front façade situated between the transom windows and storefront doors/windows is NOT based on an accurate duplication of features.

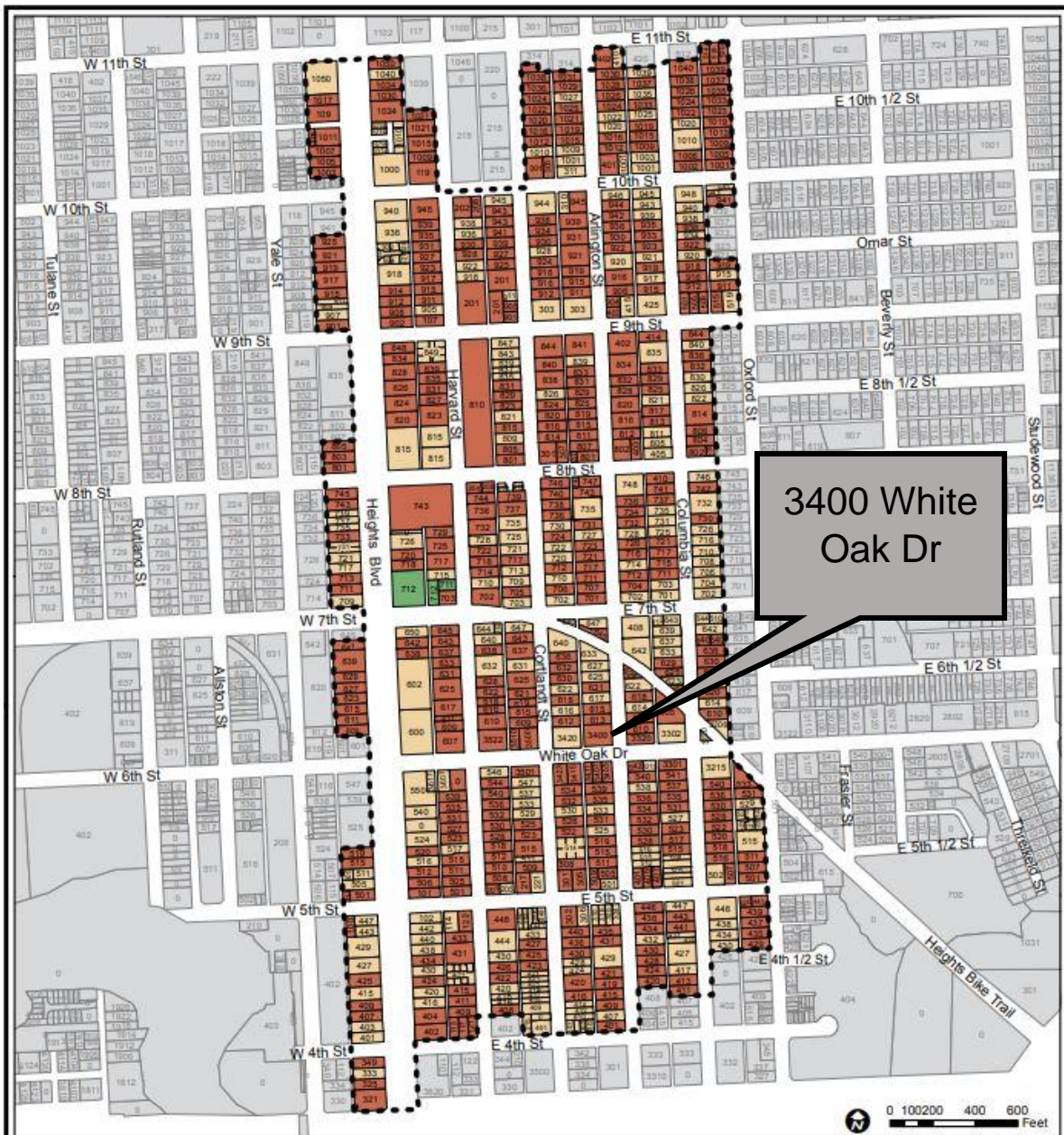
- (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
- (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; **The wood studs, door and window framing, semicircular window sashes, and cross beams are in repairable condition. These can be repaired and put back into its original locations. The complete removal of these wood studs and framing would destroy significant architectural materials.**
- (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
- (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

HEIGHTS DESIGN GUIDELINES

- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines. **The removal of the studs, door and window framing, and cross beams that are evident on the front elevation does not preserve the historic building materials.**



District Map



Houston Heights South Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: June 29, 2011
 Source: GIS Services Division
 Date: 4/24/2013
 Reference: pj17025_Heights_South

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING & DEVELOPMENT DEPARTMENT



CITY OF HOUSTON

PERMIT CENTER - CODE ENFORCEMENT DIVISION

1002 Washington Ave, Houston, Texas 77002

Point of Sale Transmittal

17-JAN-2024

Note: This is not a permit and does not authorize the holder to perform any work

Customer Name/Address
CISNEROS, ROMULO
800 SAMPSON ST # 200
HOUSTON, TX 77003
713-520-7745

Payer Name/Address
CISNEROS, ROMULO
800 SAMPSON ST # 200
HOUSTON, TX 77003
713-520-7745

Project-No Description
Pending ONE-STOP DEMO NON-LOAD BEARING WALL, RETAIL
3400 WHITE OAK, LLC
3400 WHITE OAK DR
HOUSTON, TX 77007

Sales Order
03701894 (B)

Permit: PX **Plan Review Fee

PLANREV FEE	34.34
Administration Fee	32.16
Total Permit Fee	66.50

TOTAL AMOUNT DUE 66.50



PERMIT APPLICATION WITH NO HOLDS RELEASED



Additional Functions Recent Selection Options Activity Log Pending Inspections

Project On Hold; Pending Structural Permit Purchase

Flood Zone: X-

Documents on file

Situs Address: 3400 WHITE OAK DR 77007

100 Search

Project Number: 24005093

Look Up

110 Project History

Recent Selections

Permit Type:

550 Documents

126 Situs Holds

208/599/Other_

109 Project Holds_

101/103 Comments

GIS / Tax Office

100 Situs Info

102 Application

114 Plan Review_

115/297 Permits_

205 Fee_Collection

Applicant Name:

CISNEROS, ROMULO
800 SAMPSON ST # 200
HOUSTON, TX 77003-0000
Phone No. (713) 520 - 7745

102 Update General Project info

Primary

Contractor Name:

105 Contractors

Contact Name:

Comment:

PROJECT COMMENTS

103 Project Comments

Hold(s) Status:

Project-Permit Holds are in Effect

109 Project Holds

Description of Work

DEMO OF NON-LOAD BEARING / NON-FIRE-RATED WALLS '21 IBC

(109) Project Holds - Project: 24005093 DEMO OF NON-LOAD BEARING / NON-FIRE-RATED WALLS '21 IBC

Additional Functions

Hold-Date	Department	Hold-Type	Action-Status	Permit-Type	Hold-Reason
01/17/2024	STRUCTURAL P	HARD HOLD		GE	HOLD FOR PLAN CHECK APPROVAL
01/17/2024	PLANNING	HARD HOLD		GE	Houston Heights Historical District South
01/17/2024	OCCUPANCY IN	HARD HOLD		GE	SEE OCC
02/14/2024	STRUCTURAL I	HARD HOLD		GE	HOLD PER JENNIFER OSTLIND IN PLANNING

EXAMPLE OF AN APPROVED PERMIT

**HOUSTON PUBLIC WORKS
Houston Permitting Center - Code Enforcement**

The applicant, by the making, executing, and submitting this application to Houston Public Works, represents and warrants that the proposed construction described in said application is not in violation of or contrary to any deed restriction or covenant running with the land in which the herein described lot, tract or parcel of land is situated.

The Applicant further represents and warrants to the City of Houston and to the property owners lying and situated within the addition or subdivision in which the herein tract of land is situated, that such application, and the erection of the herein described construction and the eventual use thereof will not be used for any purpose which is prohibited by the deed restriction or covenants running with the land within such subdivision or addition.

The Applicant accepts this building permit subject to the foregoing representation and warranties and agrees that if such construction or use be in violation of any deed restrictions or covenants running with land that such building permit shall automatically become null and void without the necessity of any action on the part of the City of Houston or the property owner(s).

Date 05-MAY-2024	Originally Printed: 27-DEC-2022					Receipt No. 8449226	Proj. Type NEW	Project No. 22126305	
Occupant BERG, WILLIAM J						Sprinklers			
Address 1112 ASHLAND ST					Space				
City HOUSTON					Zip Code 77008	County HARRIS	Bldgs 001	Units 0001	Story 002
Contractor GIFFORD ENTERPRISES, LLC					Shopping Cart 03100833		Sales Order 03372837		
Paid by CISNEROS, ROMULO					Jc. No.		Phone 832350515		
Other BERG, WILLIAM J					Jc. No.		Phone 7135207745		
Use SF RESIDENTIAL REMODEL/ADDITION 1-2-5-R3-B 2015 IRC					Jc. No.		Phone 7135207745		

Payment method: Credit card ATM

\$443.31

The following work description was recorded by the user prior to purchase
ADDITION AND RENOVATION TO A SINGLE FAMILY RESIDENCE

Date	Department	Project Comments
02/07/2023	PLANNING	*****HISTORICAL*****
02/07/2023	PLANNING	Issuance of this permit does not waive compliance with the
02/07/2023	PLANNING	Historic Preservation Ordinance per City of Houston Municipal
02/07/2023	PLANNING	Code of Ordinances Chapter 33 Article VII. For more
02/07/2023	PLANNING	information, Contact 832-393-6556.
02/07/2023	PLANNING	Project must conform to the Certificate of Appropriateness.
02/07/2023	PLANNING	Revisions to a project require a new Certificate of
02/07/2023	PLANNING	Appropriateness. No removal or alteration to interior shiplap.
02/07/2023	PLANNING	Staff must inspect damaged materials before removal,
02/07/2023	PLANNING	replacement, or alteration.
02/07/2023	PLANNING	COA and Site Plan stamped by JL on 2-7-2023

** CONTINUED ON NEXT PAGE **

Byron D. King

Building Official for the City of Houston

POST PERMIT ON JOB LOCATION

FOR REINSPECTION CALL:

Building Inspections 832-394-8840	Sign Administration 832-394-8890	Occupancy Inspections 832-394-8880
Electrical Inspections 832-394-8860	Interactive Voice Response 713-222-9922	Gas Utility Release 832-394-8870
Boiler A/C Inspections 832-394-8850	Right of Way Inspections 832-394-9496	Plumbing Inspections 832-394-8870
Mobile Homes 832-394-8842	Electrical Utility Release 832-394-8860	Plan Review 832-394-8810

An inspection must be called within 180 days of purchase or this permit will lapse. After 360 days of purchase a new permit may be required per section 105.5 of the Building Code, or the expiration date specified on the Permit or Receipt. Any structural work authorized by this permit is issued based on a

EXAMPLE OF AN APPROVED PERMIT

**HOUSTON PUBLIC WORKS
Houston Permitting Center - Code Enforcement**

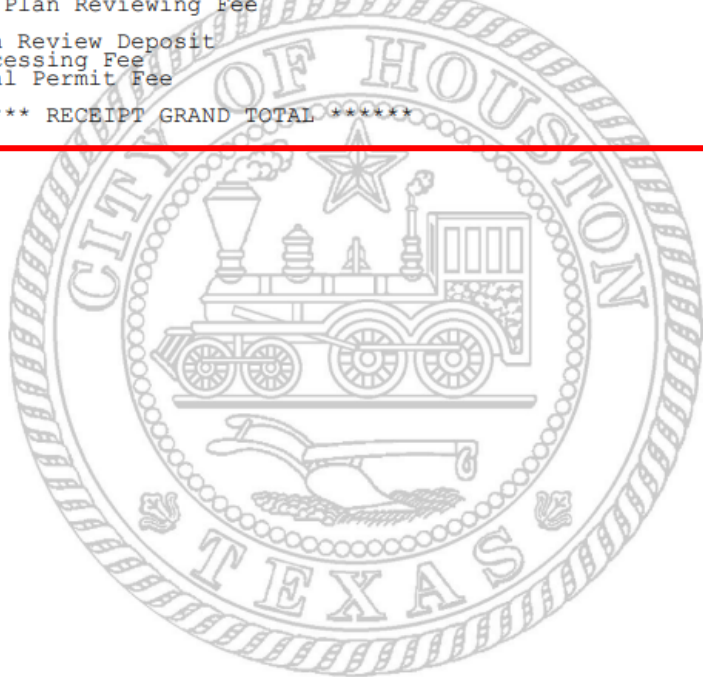
The applicant, by the making, executing, and submitting this application to Houston Public Works, represents and warrants that the proposed construction described in said application is not in violation of or contrary to any deed restriction or covenant running with the land in which the herein described lot, tract or parcel of land is situated.

The Applicant further represents and warrants to the City of Houston and to the property owners lying and situated within the addition or subdivision in which the herein tract of land is situated, that such application, and the erection of the herein described construction and the eventual use thereof will not be used for any purpose which is prohibited by the deed restriction or covenants running with the land within such subdivision or addition.

The Applicant accepts this building permit subject to the foregoing representation and warranties and agrees that if such construction or use be in violation of any deed restrictions or covenants running with land that such building permit shall automatically become null and void without the necessity of any action on the part of the City of Houston or the property owner(s).

Date	Originally Printed: 27-DEC-2022					Receipt No.	Proj. Type	Project No.
05-MAY-2024						8449226	NEW	22126305
Occupant	BERG, WILLIAM J					Sprinklers % Type		
Address	1112 ASHLAND ST					Space	TID No.	
City	Zip Code	County	Bldgs	Units	Story	Shopping Cart	Sales Order	
HOUSTON	77008	HARRIS	001	0001	002	03100833	03372837	
Contractor	GIFFORD ENTERPRISES, LLC					Lic. No.	Phone	
Paid by	CISNEROS, ROMULO					Lic. No.	Phone	
Other	BERG, WILLIAM J					Lic. No.	Phone	
Use	SE RESIDENTIAL REMODEL/ADDITION 1-2-5-R3-B 2015 IRC							

** CONTINUED FROM PRIOR PAGE **	
Permit Type: PX	Plan Reviewing Fee
	Plan Review Deposit
	Processing Fee
	Total Permit Fee
***** RECEIPT GRAND TOTAL *****	
	412.80
	30.51
	443.31
	\$443.31



POST PERMIT ON JOB LOCATION

FOR REINSPECTION CALL:

Building Inspections	832-394-8840	Sign Administration	832-394-8890	Occupancy Inspections	832-394-8880
Electrical Inspections	832-394-8860	Interactive Voice Response	713-222-9922	Gas Utility Release	832-394-8870
Boiler A/C Inspections	832-394-8850	Right of Way Inspections	832-394-9496	Plumbing Inspections	832-394-8870
Mobile Homes	832-394-8842	Electrical Utility Release	832-394-8860	Plan Review	832-394-8810

An inspection must be called within 180 days of purchase or this permit will lapse. After 360 days of purchase a new permit may be required per section

EXAMPLE OF APPROVED PERMIT IN THE PERMITTING SYSTEM

ILMS

Additional Functions Recent Selection Options Activity Log Pending Inspections

Project is: FINALED **Flood Zone: X-**

Documents on file

Situs Address: 1112 ASHLAND ST 77008 100 Search

Project Number: 22126305 Look Up 110 Project History Recent Selections **Permit Type:**

GIS / Tax Office 550 Documents Certificates

205 Fee_Collection 126 Situs Holds 208/599/Other_ 109 Project Holds_ 101/103 Comments

100 Situs Info 102 Application 114 Plan Review_ 115/297 Permits_ 399 Inspections

Applicant Name: CISNEROS, ROMULO
800 SAMPSON ST # 200
HOUSTON, TX 77003-0000
Phone No. (713) 520 - 7745 102 Update General Project info

Primary Contractor Name: PR ELECTRICAL SERVICES 105 Contractors

Contact Name: PHILLIP CONCHOLA JR 103 Project Comments

Comment: PROJECT COMMENTS 109 Project Holds

Hold(s) Status: Project-Permit Holds are in Effect

Description of SF RESIDENTIAL REMODEL/ADDITION 1-2-5-R3-B 2015 IRC

(109) Project Holds - Project: 22126305 SF RESIDENTIAL REMODEL/ADDITION 1-2-5-R3-B 2015 IRC

Additional Functions

Hold-Date	Department	Hold-Type	Action-Stat	Permit-Type	Hold-Reason
12/27/2022	STRUCTURAL P	HARD HOLD	APPROVED	GE	HOLD FOR PLAN CHECK APPROVAL
12/27/2022	PLANNING	HARD HOLD	APPROVED	GE	HISTORIC DISTRICT

Project Hold Details

Inventory Photo (Photo Taken in June 2010 By Staff)



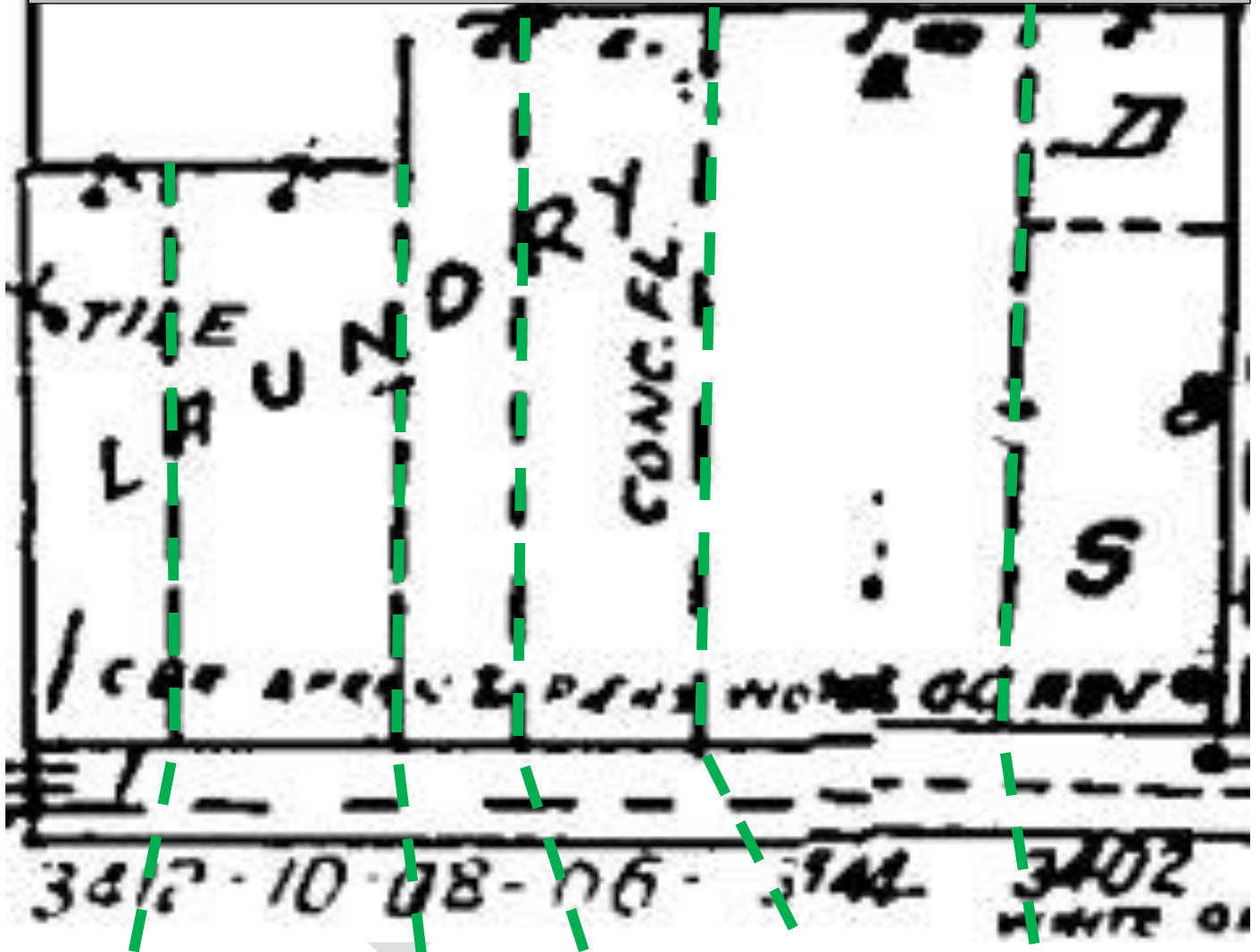
After Non-Historic Façade Removed – Photo By Staff March 16, 2023



Removal of non-historic façade granted approval by HAHC at December 14, 2022 meeting as shown in inventory photo in top photo

Sanborn Map

Green dashed lines correspond to the six addresses listed at the bottom of the Sanborn image, breaking up the front façade into six storefronts

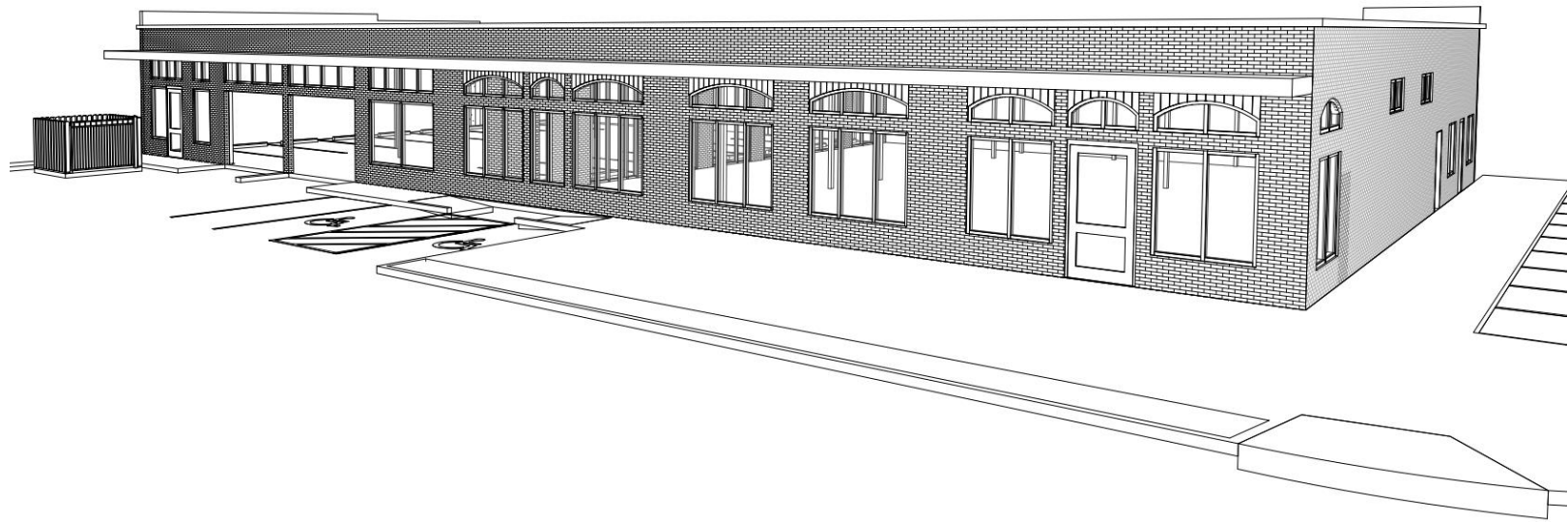


Front (South) elevation as seen by public, agent, owners, staff, and commission members at special meeting held on site, September 19, 2023.

Existing Front (South) Elevation – Photo Taken By Staff on 2-13-2024

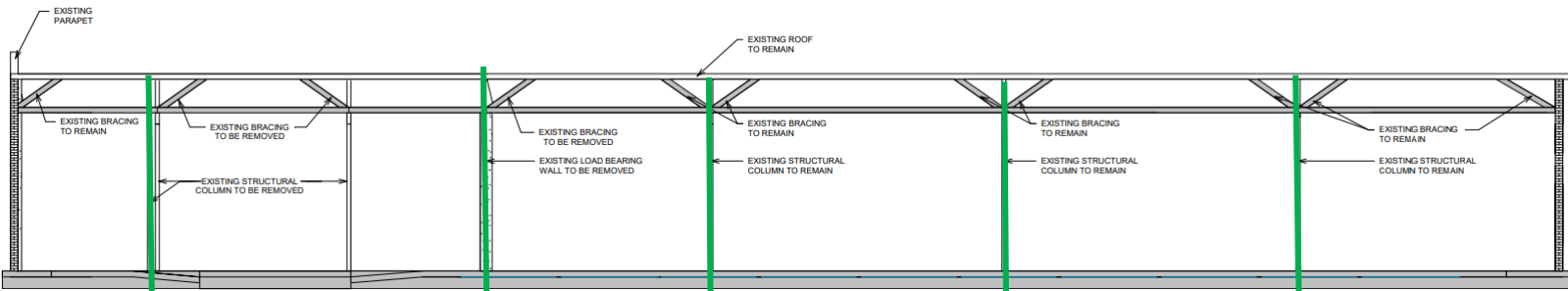


Proposed 3D Rendering of Front and Right Elevations

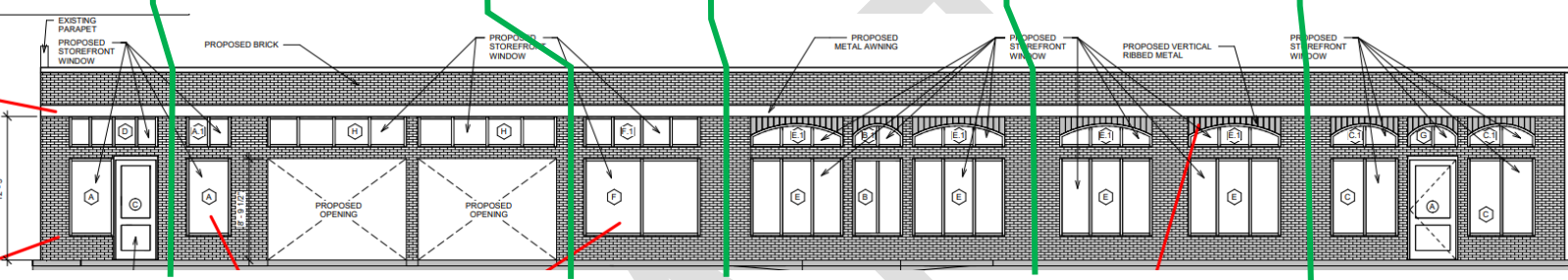


DRAFT

Existing Front (South) Elevation



Proposed Front (South) Elevation



STOREFRONT SCHEDULE

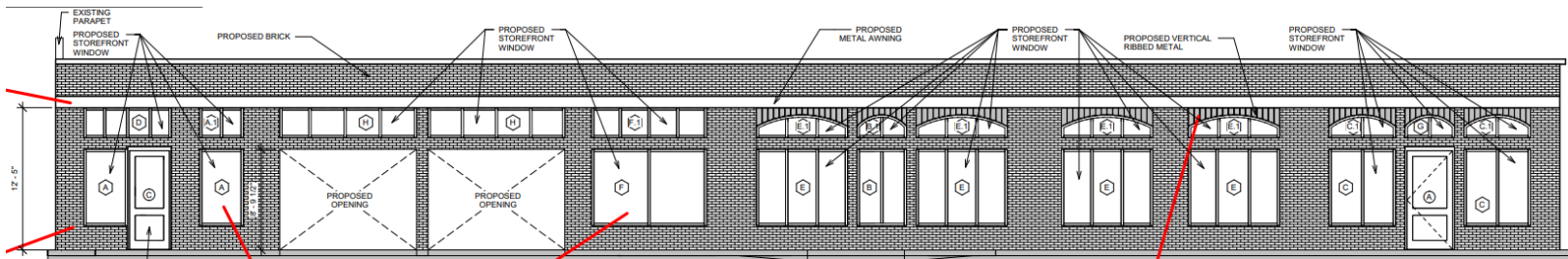
TYPE	WIDTH	HEIGHT	MANUFACTURER
A	3' - 10"	6' - 8"	METRO STEEL
A.1	3' - 10"	2' - 7 1/2"	METRO STEEL
B	4' - 4"	6' - 8"	METRO STEEL
B.1	4' - 4"	2' - 0"	METRO STEEL
C	5' - 10"	6' - 8"	METRO STEEL
C.1	5' - 10"	2' - 0"	METRO STEEL
D	7' - 8"	2' - 7 1/2"	METRO STEEL
E	8' - 0"	6' - 8"	METRO STEEL
E.1	8' - 0"	2' - 0"	METRO STEEL
F	10' - 4"	6' - 8"	METRO STEEL
F.1	10' - 1"	2' - 7 1/2"	METRO STEEL
G	4' - 4"	2' - 0"	METRO STEEL
H	12' - 0"	2' - 7 1/2"	METRO STEEL
I	6' - 4"	6' - 7"	METRO STEEL
I.1	6' - 4"	2' - 0"	METRO STEEL
J	5' - 0"	5' - 0"	METRO STEEL
K	3' - 4"	5' - 9"	METRO STEEL
L	3' - 2"	5' - 0"	METRO STEEL



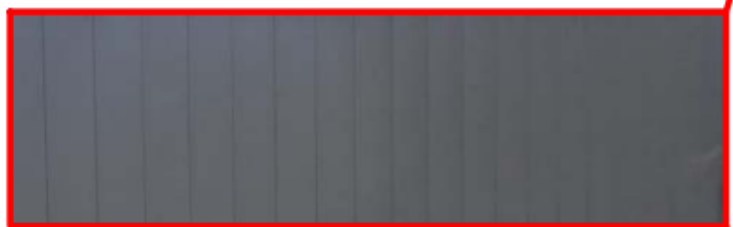
Metal Framing Window and Door Sample

TYPE	DOOR			
	WIDTH	HEIGHT	THICKNESS	MATERIAL
A	4' - 0"	8' - 8"	1 3/4"	METAL/GLASS
B	3' - 0"	7' - 0"	1 1/2"	WOOD/GLASS
C	3' - 6"	8' - 8"	1 3/4"	METAL/GLASS
D	2' - 10"	7' - 0"	1 3/4"	HM

Proposed Materials and Features On Front (South) Elevation



BRAND: AVADEK (CANTILEVERED D
COLOR: DARK BRONZE



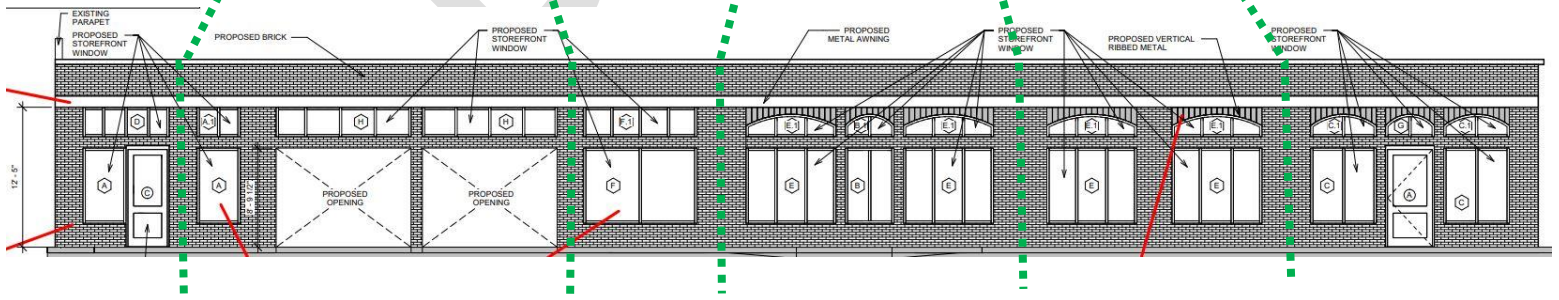
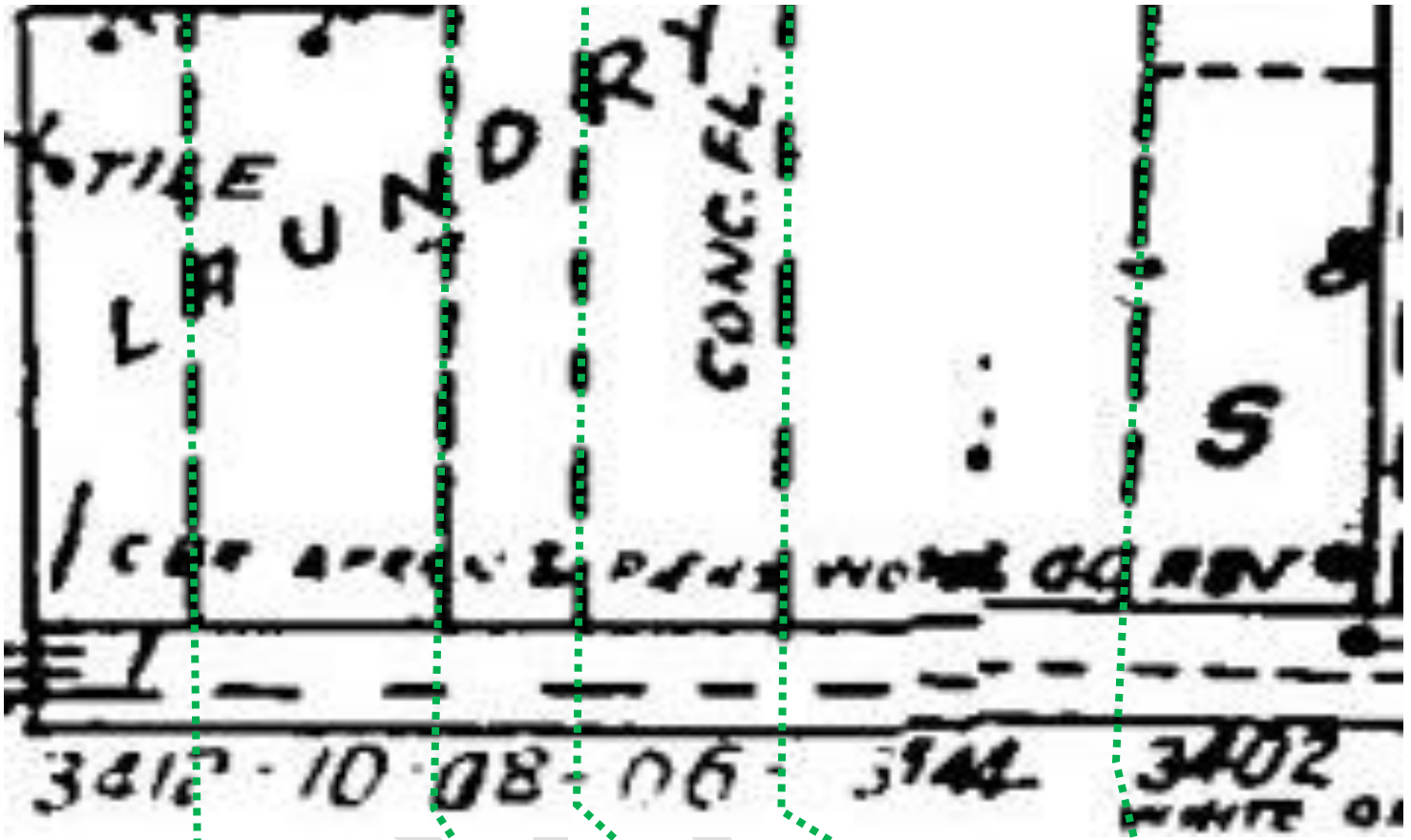
BRAND: BARRIDGE L-PANEL
COLOR: DARK BRONZE

Proposed paneling to be placed above the semicircular transom windows



BRAND: ACME BRICK
COLOR: SHAMROCK
SIZE: 2 1/4" x 7 5/8" (MODULAR SIZE)
MODEL #: 106201

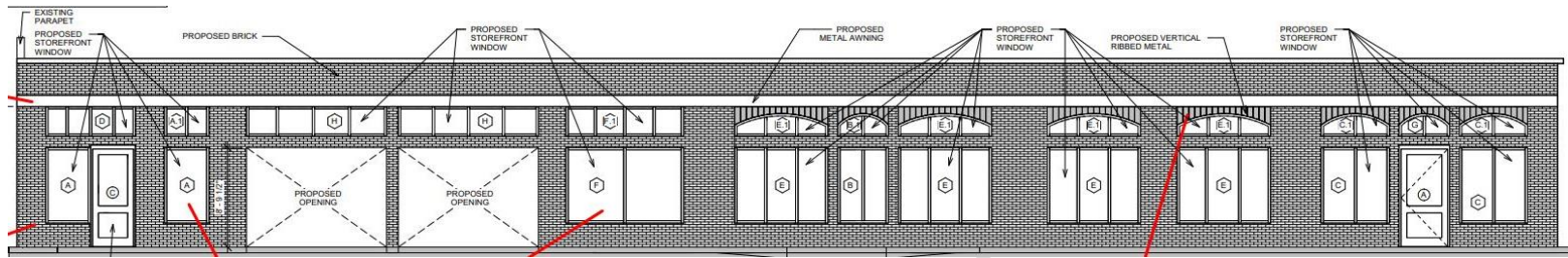
Sanborn Map



Existing Structural Supports on Front (South) Elevation



Proposed Front (South) Elevation

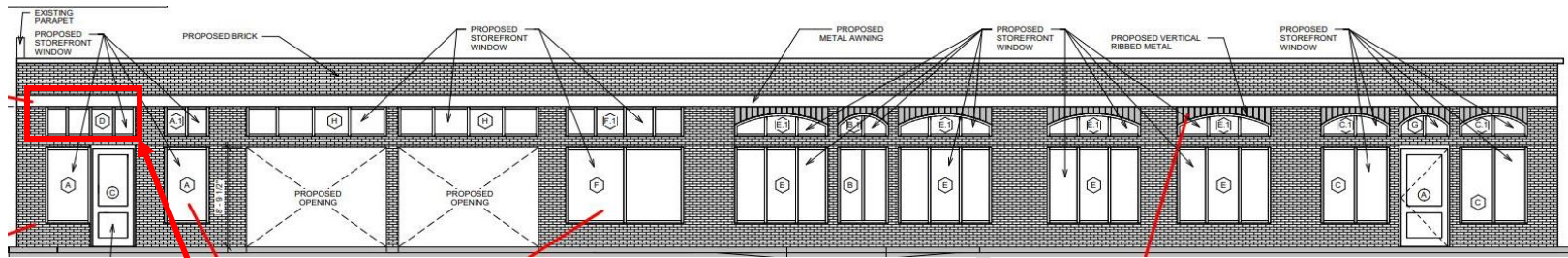


After Non-Historic Façade Removed – Photo By Staff March 16, 2023

Evidence showed wood beams ran horizontally across the width of the facade



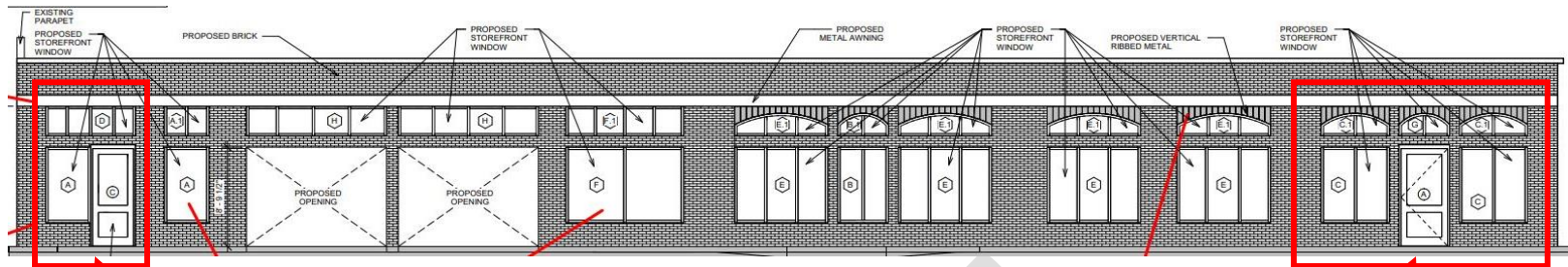
Proposed Front (South) Elevation



Interior Photos of Window and Door Framing Taken By Staff March 1, 2023



Proposed Front (South) Elevation



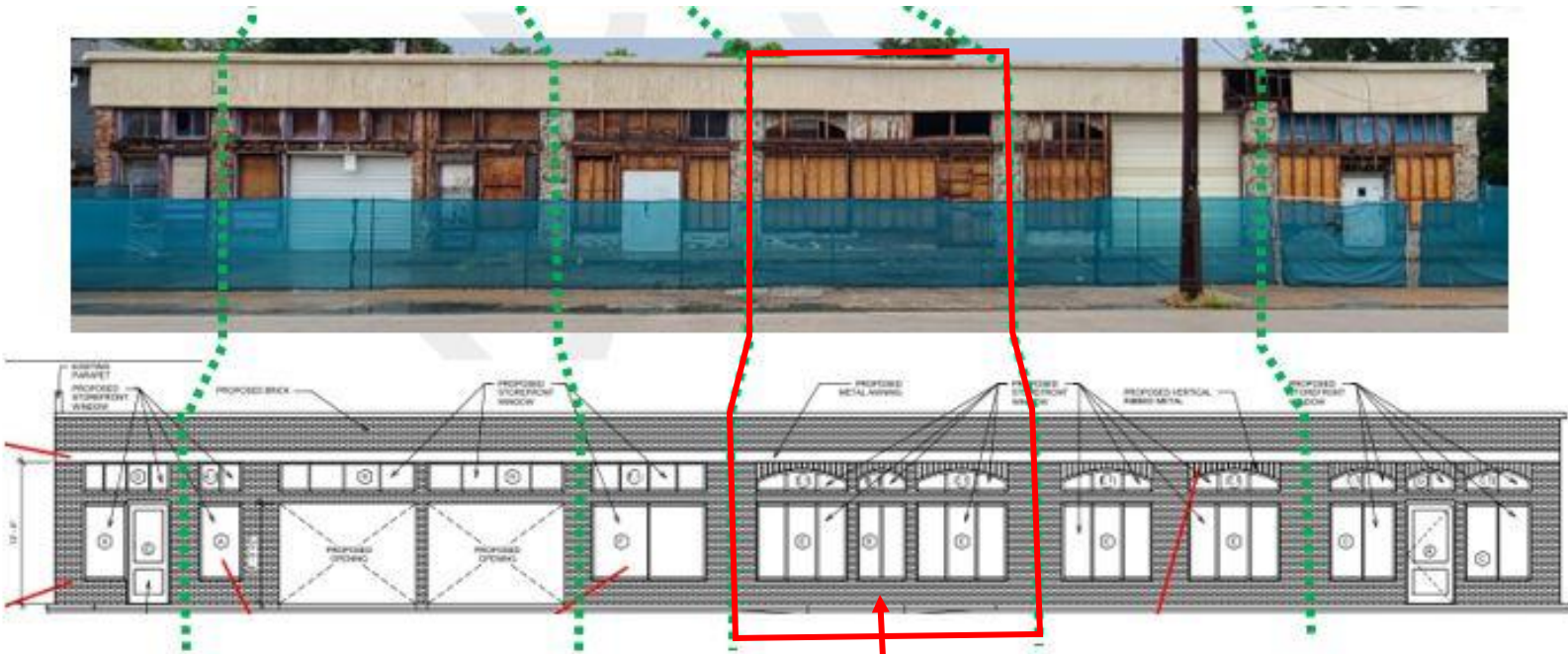
Interior Photos of Window and Door Framing Taken By Staff March 1, 2023





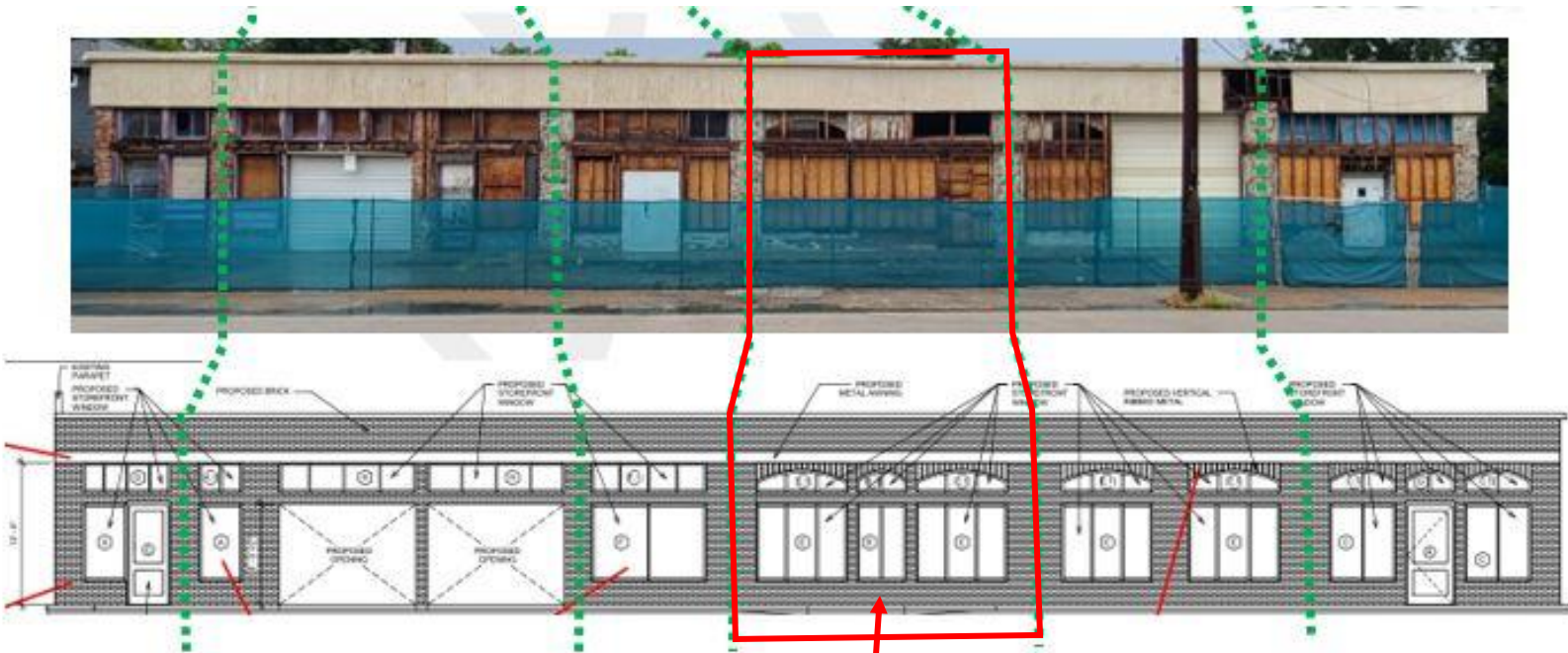
Interior Photos of Window and Door Framing Taken By Staff March 1, 2023





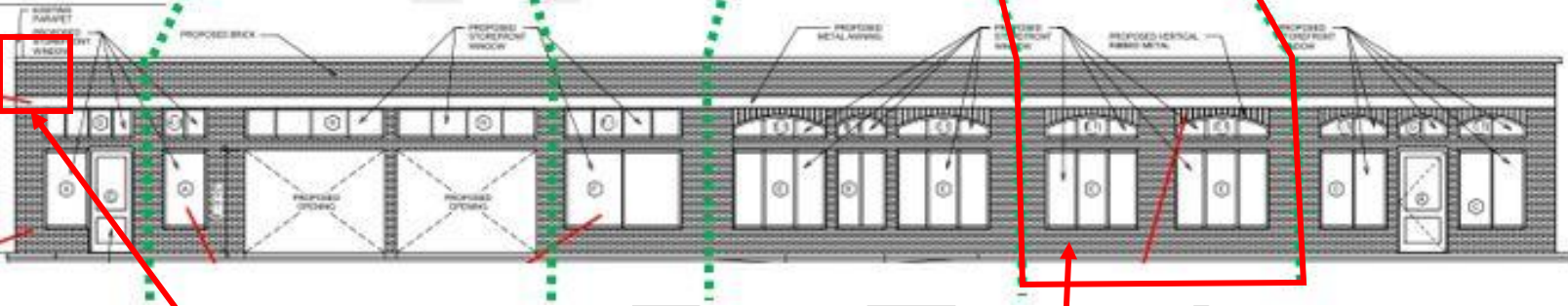
Interior Photos of Window and Door Framing Taken By Staff March 1, 2023



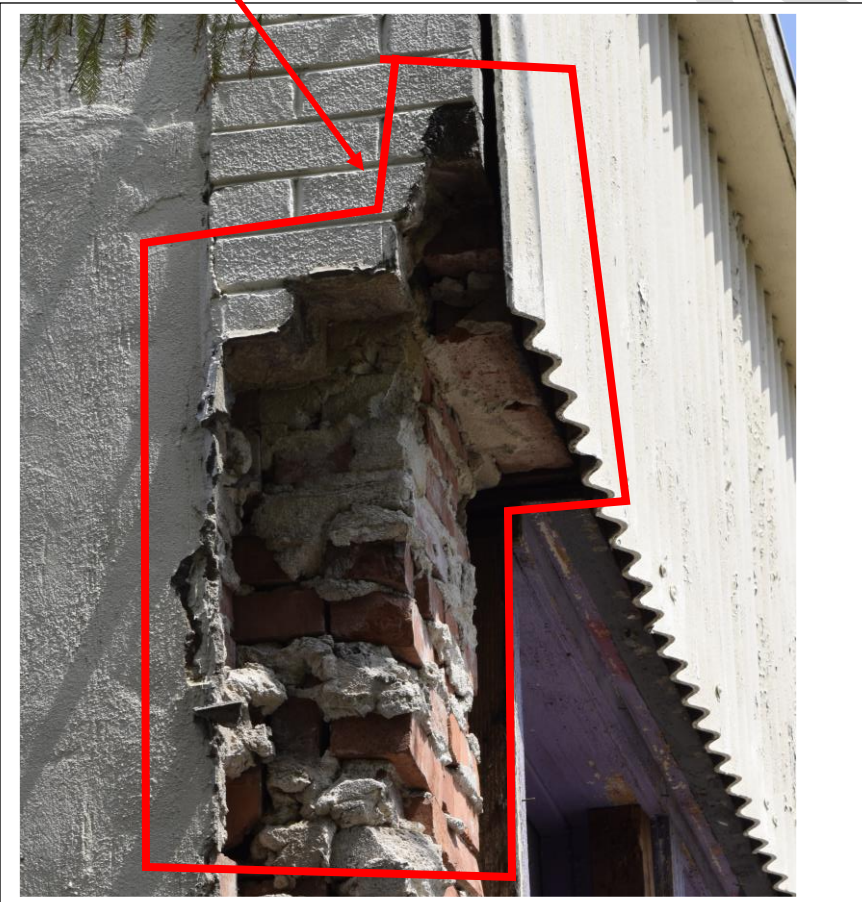


Interior Photos of Window and Door Framing Taken By Staff March 1, 2023

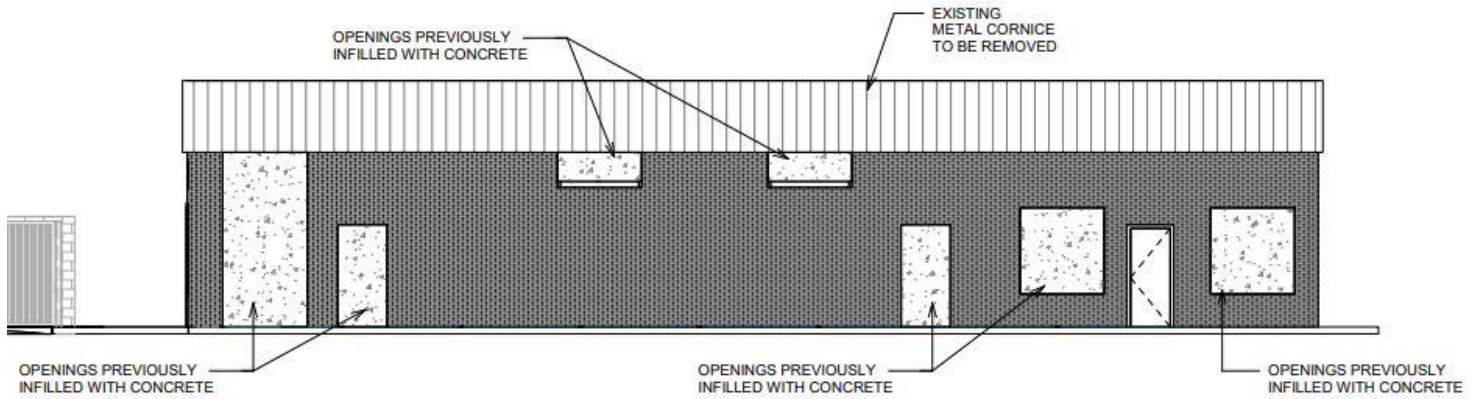




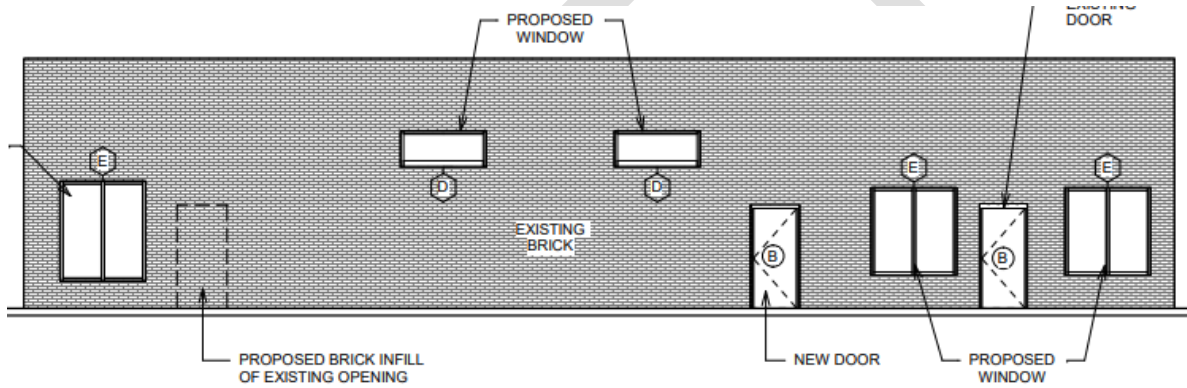
Interior Photos of Window and Door Framing Taken By Staff March 1, 2023



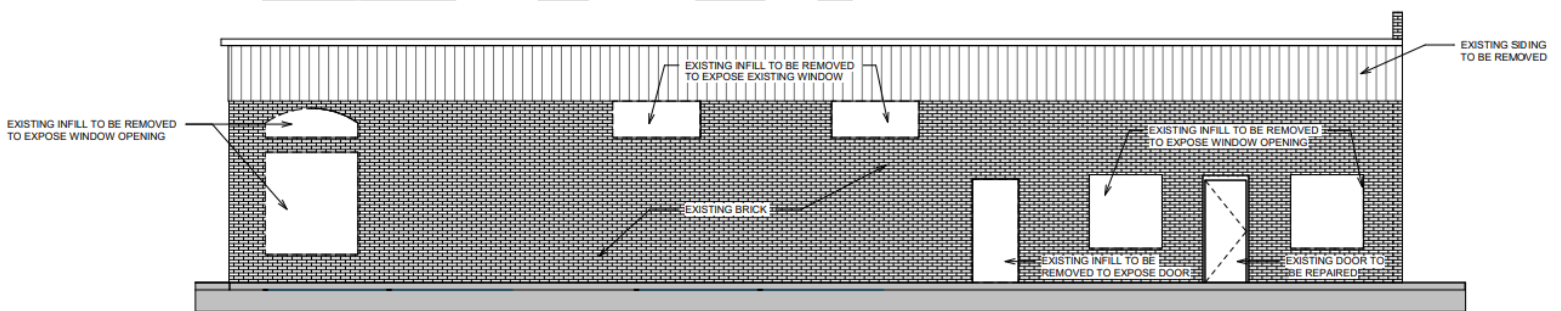
Existing Right (East) Elevation As Shown to HAHC on 11-09-2023



Proposed Right (East) Elevation As Approved by HAHC on 11-9-2023



Existing Right (East) Elevation (As Presented on Current Submitted Drawings)



Right Elevation Continued on Next Page

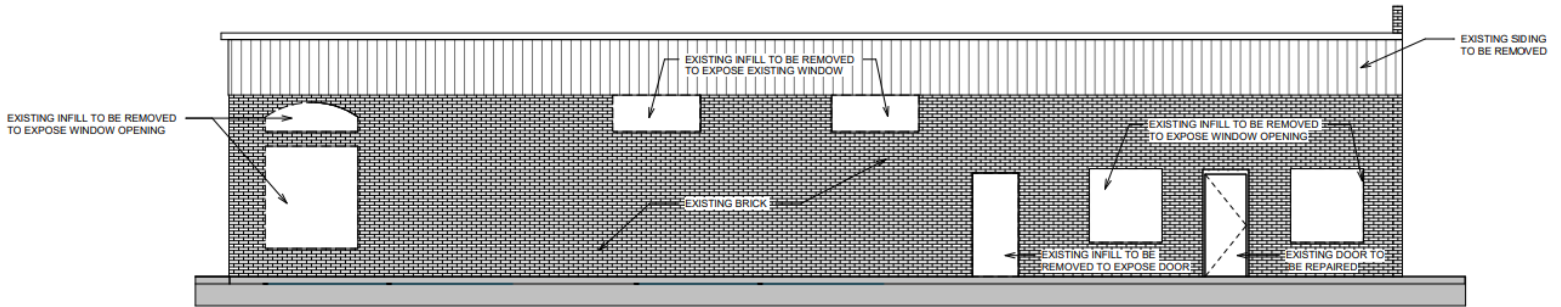
Right (East) Elevation – Photo Provided by Agent for 12-14-2022 HAHC Meeting



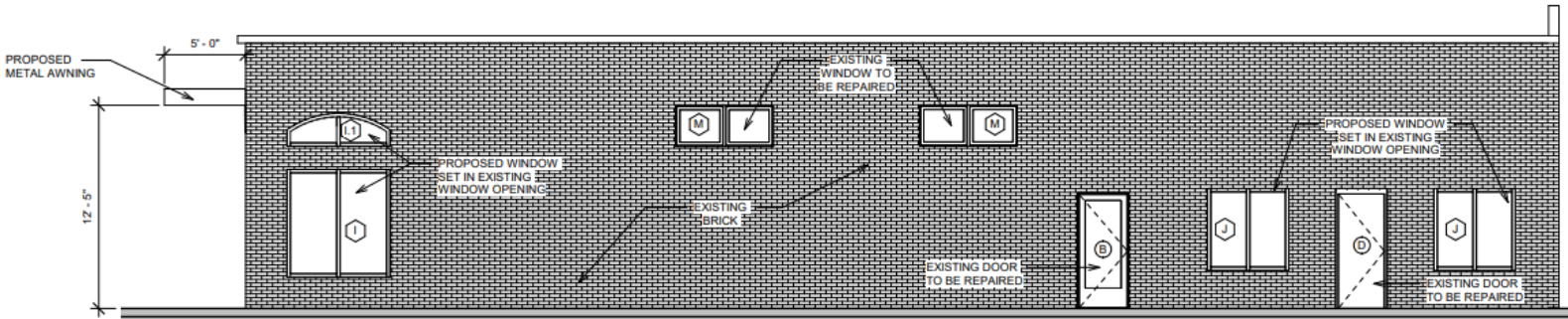
Interior Photos of Window and Door Framing Taken By Staff September 19, 2023



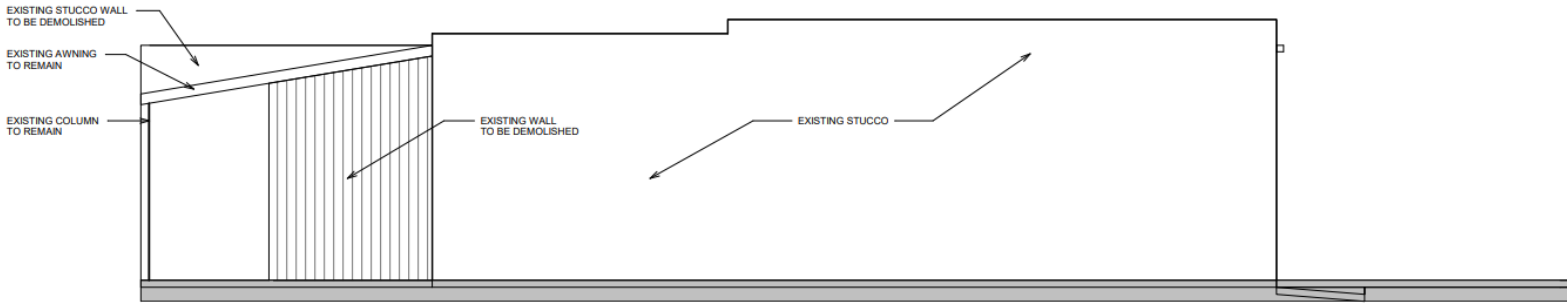
Existing Right (East) Elevation (As Presented on Current Submitted Drawings)



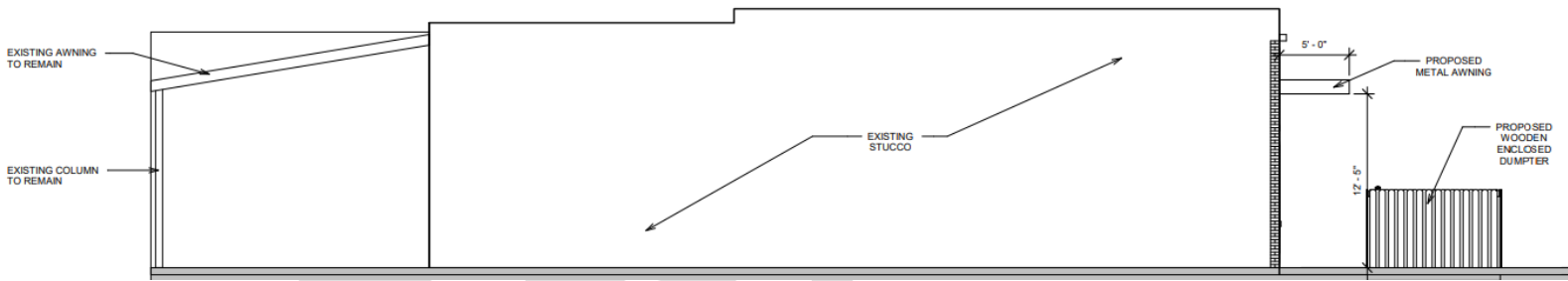
Proposed Right (East) Elevation



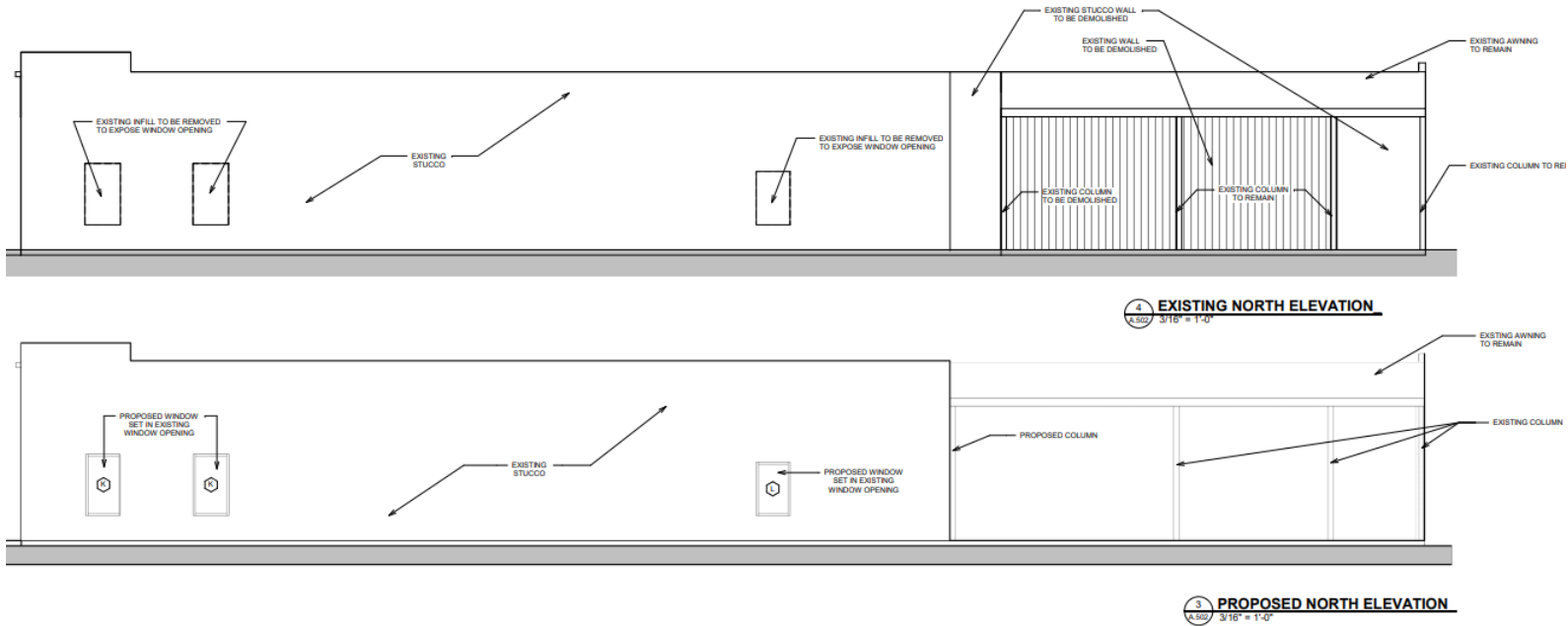
Existing and Proposed Left (West) Elevation (As Presented on Current Submitted Drawings)



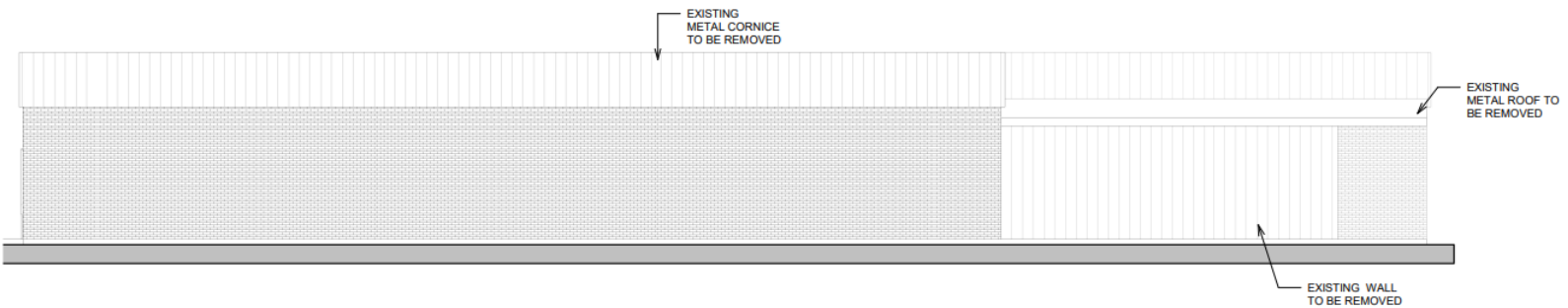
2 EXISTING WEST ELEVATION
A.503 3/16" = 1'-0"



Existing and Proposed Rear (North) Elevation (As Presented on Current Submitted Drawings)



Existing Rear (North) Elevation As Shown to HAHC on 11-9-2023

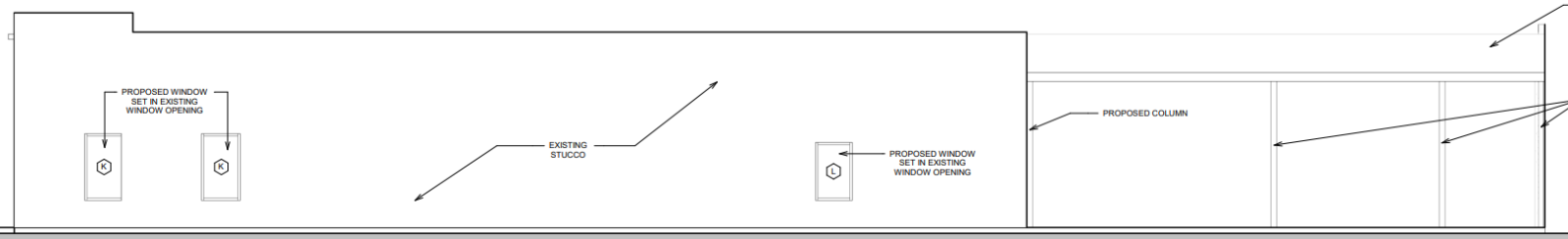


Rear Elevation Continued on Next Page

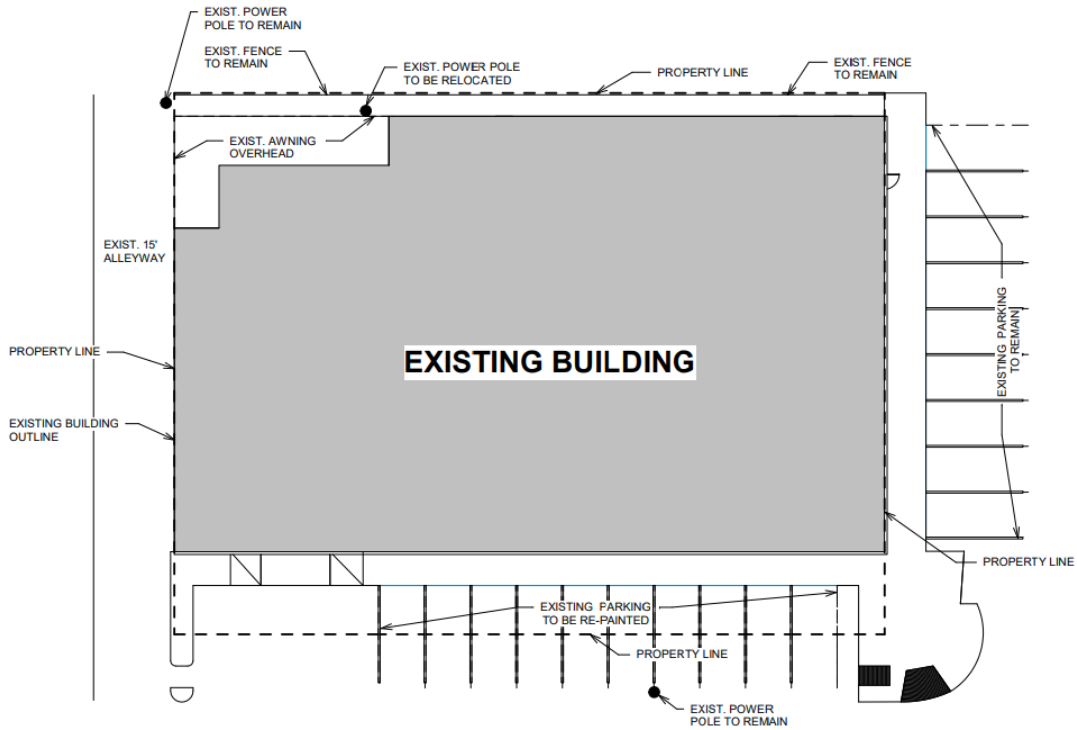
Interior Photos of Rear Elevation Taken By Staff September 19, 2023



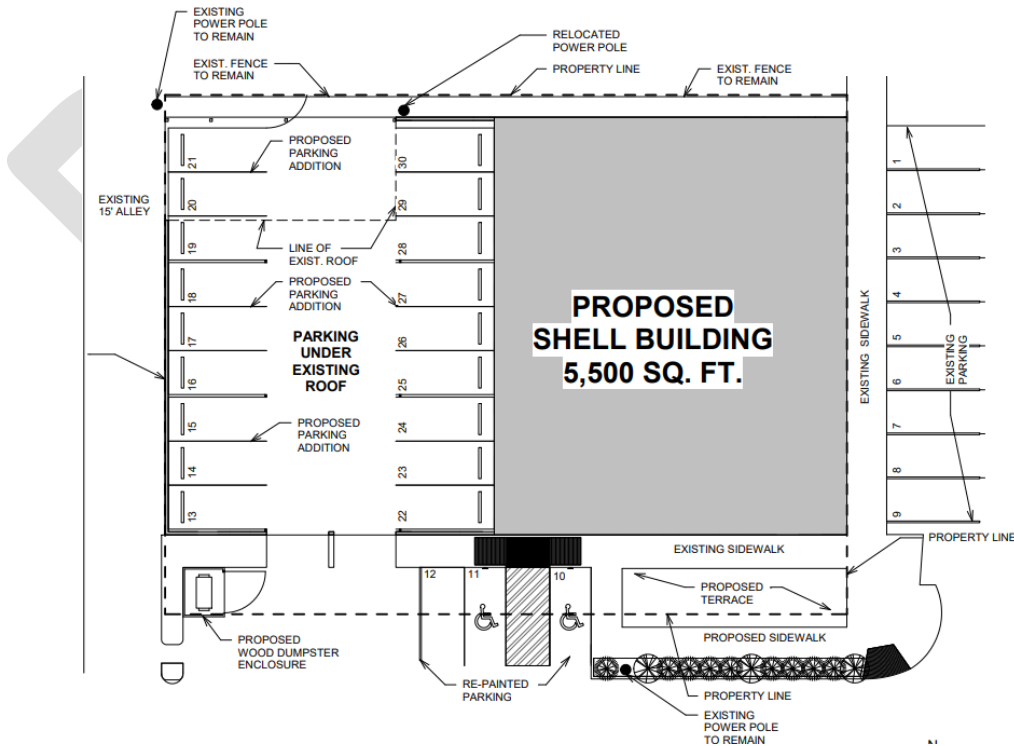
Proposed Rear (North) Elevation

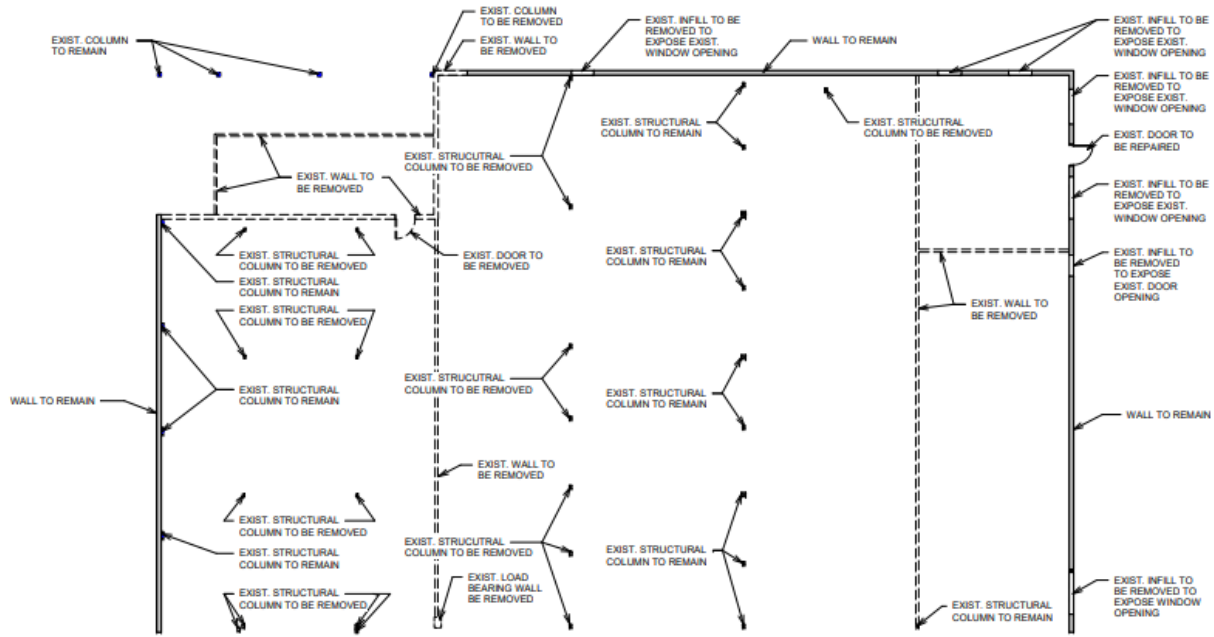


Existing Site Plan

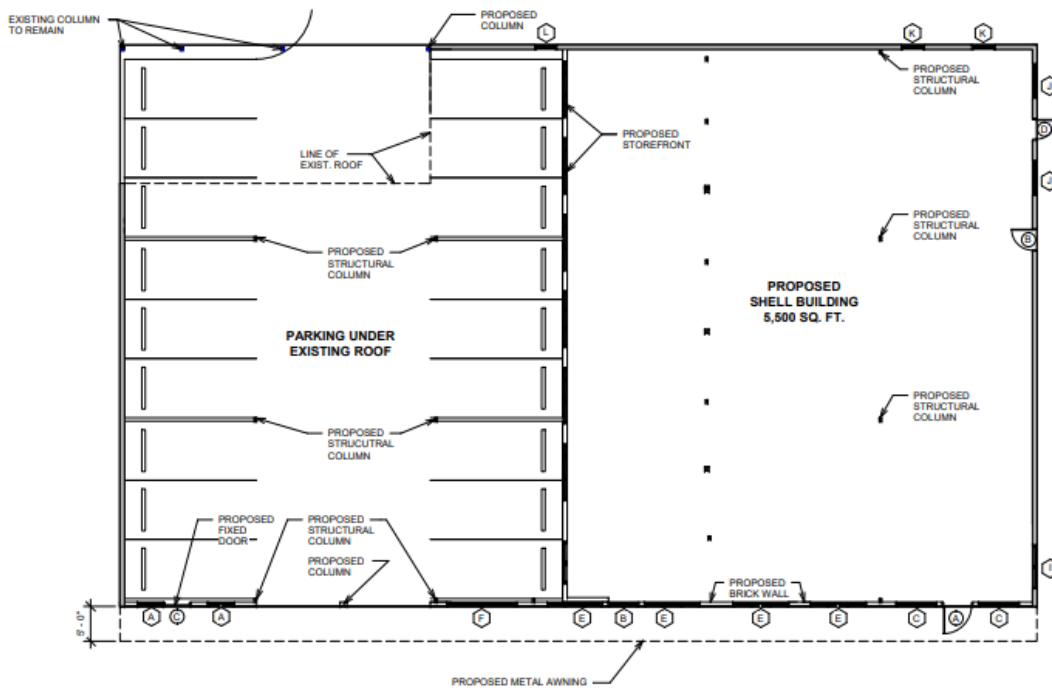


Proposed Site Plan

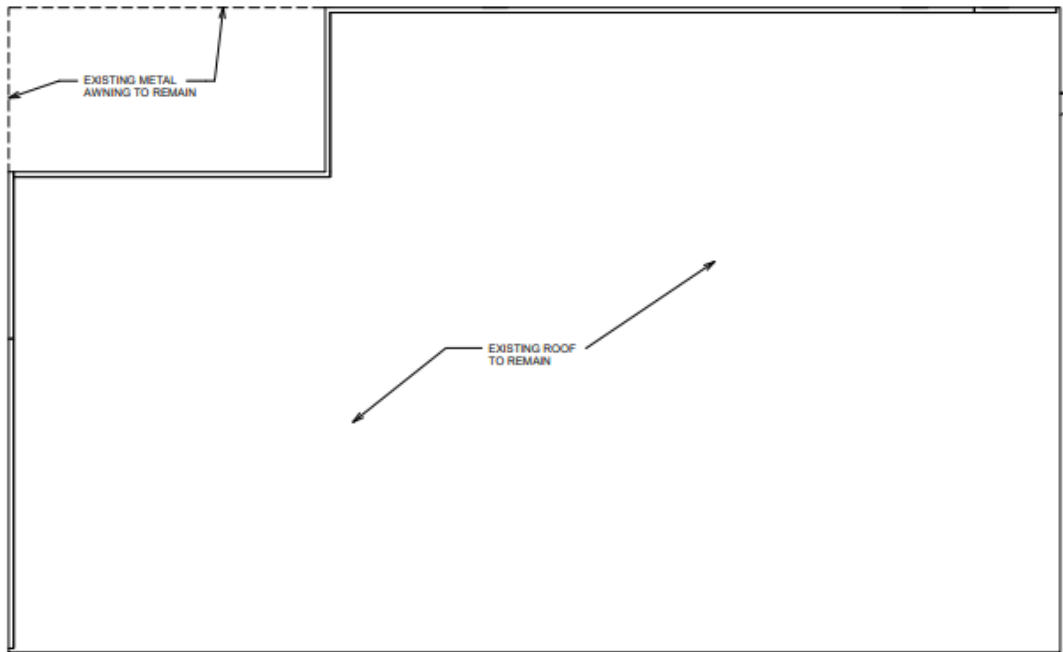




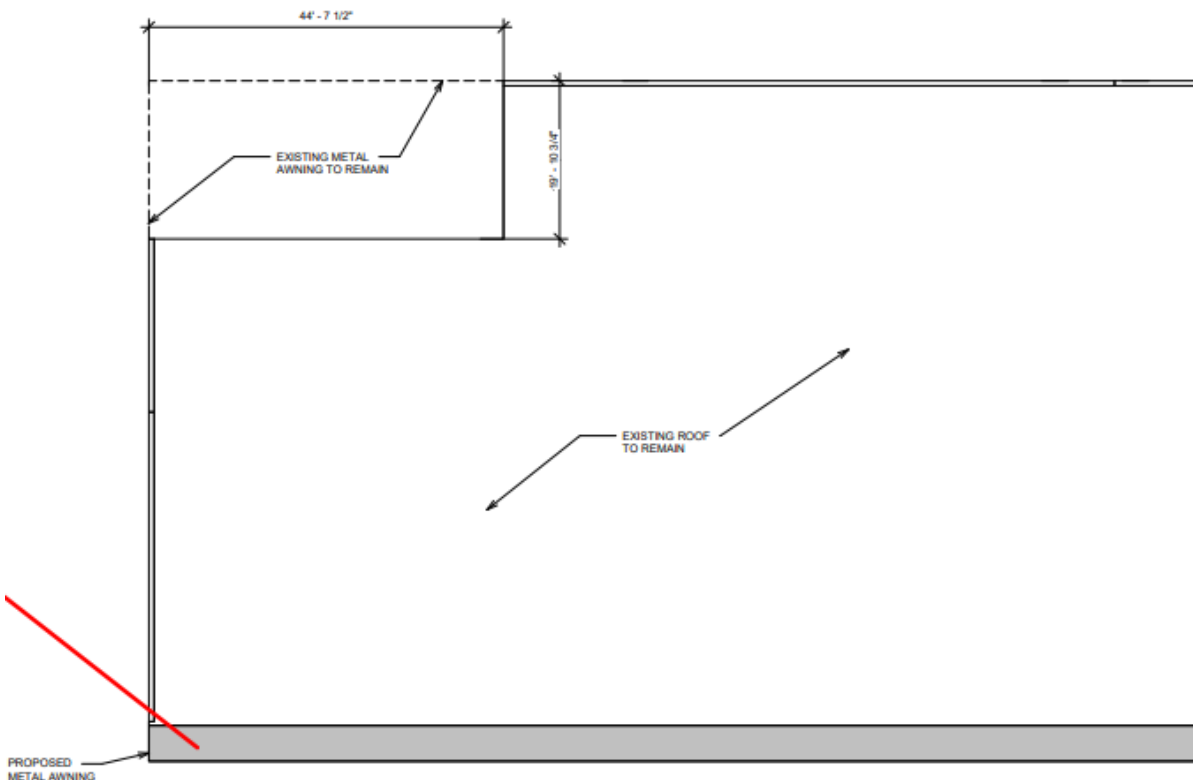
1 EXISTING FLOOR PLAN W/ DEMO
A.200 3/32" = 1'-0" N



2 PROPOSED FLOOR PLAN
A.200 3/32" = 1'-0" N



1 **EXISTING ROOF PLAN** N
A.102 3/32" = 1'-0"



2 **PROPOSED ROOF PLAN** N
A.102 3/32" = 1'-0"